

**MANASQUAN PLANNING BOARD MEETING AGENDA
CONDUCTED WITH ZOOM
JULY 20, 2021 4:00 PM – TUESDAY**

Join Zoom Meeting

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

OR

Tel – 1-646 876 9923 US (New York)

ID # 261 009 5007

Password 281 797

Please take notice that the Manasquan Planning Board will convene a remote meeting on July 20, 2021 4:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Vouchers

RESOLUTION

APPLICATION

2. #33-2021 Baldino - 74 Ocean Avenue - Bulk Variance
3. #31-2021 Perotti - 77 Ocean Avenue - Bulk Variance

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

**PLANNING BOARD APPLICATION
MANASQUAN, NEW JERSEY**

I. APPLICANT: John & Cheryl Baldino

Address: 82 Hollow Rd.
Skillman, NJ 08558-1403

Phone: 609-466-9124

**Property Address: 74 Ocean Avenue
Block 162, Lot 18.05 Zone R-2
Flood Zone: AE
Manasquan, New Jersey 08736**

II. TYPE OF APPLICATION: Bulk Variances

Section 35-9.4

	REQUIRED	EXISTING	PROPOSED	Variance
Area of Lot	5,000 SF	4,504 SF	4,504 SF	Existing Non-Conformity*
Percentage of Lot Coverage (Building)	30%		35.07%	Yes**
Percentage of Lot Coverage (Imp)	45%		51.47%	Yes**
Lot Frontage	50 ft.	37.50 ft	37.50 ft.	Existing Non-conformity*
Front Setback	25 ft	26.5 ft	43.9 ft	No
Rear Setback	20 ft	50.7 ft	11.9 ft	Yes**
Building Height-Stories	33 ft. For dwelling on non-conforming lot 2.5 stories	<33 ft 2 Stories	32.98 ft 2 stories and a widow's walk	No
Side Setback (L)	5ft	4.6 ft	5.1 ft	No
Side Setback (R)	5 ft	20'3" ft	7.6 ft	No

Existing Non-Conformity *

Variance Requested **

III. SITE INFORMATION:

Street Address: 74 Ocean Avenue

Block 162 Lot 18.05

Zoning Districts: R-2

Present Use: Two Family Residential Dwelling

Proposed Use: One Single Family Residential Dwelling

VI. ZONE REQUIREMENTS: R-2 Zone

Min. Lot Area: 5,000 sq ft

Min Lot Frontage: 50 ft

Front Yard Setback: 25 ft

Side Setback: 5 ft

Rear Setback: 20 ft

Max. Bldg. Height: 33 ft

Max Stories: 2.5

Max. Bldg. Coverage: 30%

Max. Lot Coverage: 45%

V. MISCELLANEOUS:

1. Is the Applicant the Landowner? Yes
2. Does the Applicant own any adjoining land? No
3. Are the property taxes paid to date? Yes
4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? None to the applicant's knowledge.
5. Are there any deed restrictions, easements or covenants affecting the property? Applicant will provide upon receipt.

VI. COMMENT:

Applicant seeks approval to remove all of the existing buildings and structures on the property, construct a new two-story single-family dwelling with a 50 square foot open widow walk on the roof, as permitted under **Section 35-11.8b**, and shall provide for parking in the front of the dwelling due to insufficient space for parking in the rear yard area, in accordance with the terms and conditions set forth in **Section 35-7.8d**.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

Date

C. KEITH HENDERSON, ESQ
Attorney for Applicant

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT
BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736



732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

May 4, 2021

Keith Henderson, Esq.
52 Be Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 162 Lot: 18.05 Zone: R-2 Flood Zone: AE BFE: 9ft. DFE: 10ft.
Baldino – 74 Ocean Avenue

Dear Sir:

On this date we reviewed your revised application for the following project.

Remove the existing dwelling and construct a new two story single family dwelling with a widows walk on the roof.

Revised plot plan prepared by Frank Baer on March 24, 2021. Revised conceptual plans prepared by David Feldman on February 10, 2021. Stormwater calculations prepared by Frank Baer on March 24, 2021.

Application denied for the following reason(s):

Section 35-9.4 – Lot Frontage – 50ft. Required
37.5ft. Existing

“ - Lot Area – 5,000s.f Required
4504s.f. Existing

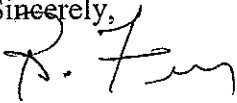
“ - Rear Setback – 20ft. Required
11.9ft. Proposed

“ - Building Coverage – 30% Permitted
35.07% Proposed

“ - Lot Coverage – 45% Permitted
51.47% Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

200' Property Owners

BOROUGH OF MANASQUAN
CERTIFIED LIST OF PROPERTY OWNERS - 74 OCEAN AVE (BLOCK 162 / LOT 18.05)
REQUESTED 9/17/20

100.01	1	BOROUGH OF MANASQUAN	150 STOCKTON LAKE BLVD	201 E MAIN ST	MANASQUAN, NJ 08736
157	15.01	AVIA, KAREN	57 OCEAN AVE	6626 MEANDERING WAY	LAKEWOOD HANCO, PA 15402
157	15.02	DIALOWSKI, FRED	59 OCEAN AVE	59 OCEAN AVE	MANASQUAN, NJ 08736
157	16	KROLIAN, MARC J & LISA	61 OCEAN AVE	30 CONTINGENTAL RD	MORRIS PLAINS, NJ 07950
157	17.01	ZACCAGNINI, JOSEPHINE	67 OCEAN AVE	530 VALLEY RD APT 3N	MONTCLAIR, NJ 07043
157	17.04	GENITILE, MARIO & PATRICIA	65-65-1/2 OCEAN AVE	66 OCEAN AVE	MANASQUAN, NJ 087363219
157	18	THOMAS FERRIOTT FAMILY TRUST	69 OCEAN AVE	65 MADDOXBROOK RD	RANTOLIAH, NJ 07869
157	19.01	MINUTY, ROBERT L JR & LESLIE	75 OCEAN AVE	25 HILLOCK AVE	HAWTHORNE, NJ 07056
157	19.02	TROST, HENRY R & TROST, CATHERINE W	73 OCEAN AVE	824 POST RD	BRILLE, NJ 087301724
157	20.01	MONETTI, LEWIS & BAISSARD, JUDITH	77 OCEAN AVE	14 SPRING BROOK RD	MORRISTOWN, NJ 079606320
157	20.04	ENGLESSE, JAMES JR & ANA W	79-79-1/2 OCEAN AVE	70 OCEAN AVE	MANASQUAN, NJ 087363219
157	20.05	KEARNS, KRYN & FRANCES A	77-1/2 OCEAN AVE	77-1/2 OCEAN AVE	MANASQUAN, NJ 087363219
157	21	THERMANN, WILLIAM D	83 OCEAN AVE	812 LAKE AVE	SPRING LAKE, NJ 077621926
157	22	RUANG, KAREN	85 OCEAN AVE	85 OCEAN AVE	MANASQUAN, NJ 08736
157	23	BATEMAN, THOMAS R & KATHERINE R	42 PEABODY CT	PO BOX 155	MANASQUAN, NJ 087361155
157	29	PASCALLE, MICHAEL A & KATHLEEN	74-76 ROGERS AVE	11606 HITCHING POST LN	ROCKVILLE, MD 208524404
157	30	DIUBALDI, ROBERT D & GINA M	72 ROGERS AVE	72 ROGERS AVE	MANASQUAN, NJ 08736
162	14	PRIOR, DONALD M TRUST	54-54-1/2 OCEAN AVE	54-1/2 OCEAN AVE	MANASQUAN, NJ 087363220
162	15	O'DOYLE, MICHAEL T & BARBARA F	60 OCEAN AVE	60 OCEAN AVE	MANASQUAN, NJ 087363220
162	16	JANZIGALYCE, MAGIE	62 OCEAN AVE	PO BOX 8	CLIFTON, VA 20124
162	17.03	DOMBAL, ROBERT & PATRICIA TRUST	66 1/2 OCEAN AVE	3 FAIRBANKS RD	LEXINGTON, MA 02421
162	17.05	VACATION VILLAS, LLC	66 OCEAN AVE	3 FAIRBANKS RD	LEXINGTON, MA 02421
162	17.06	VACATION VILLAS, LLC	68 OCEAN AVE	3 FAIRBANKS RD	LEXINGTON, MA 02421
162	18.01	CASHEN-SHELDRIK, ROBIN	70 OCEAN AVE	4511 PROVINCE LINE RD	PRINCETON, NJ 08540
162	18.04	VERDUIN, DOUGLAS & PATRICIA	72 OCEAN AVE	18 CENTRAL AVE	GLEN ROCK, NJ 07452
162	18.05	BALDINO, JOHN & CHERYL	74 OCEAN AVE	88 HOLLOW RD	SKILLMAN, NJ 08558-4603
162	18.06	FRANZETTI, CARL J & CATHERINE	74-1/2 OCEAN AVE	485 WESTCHESTER AVE	TUCKAHOE, NY 10771-1325
162	19.06	ZANPAGNA, GARY P & HARGOOD, LINDA S	76 OCEAN AVE	240 E DUDLEY AVE	WESTFIELD, NJ 070903102
162	19.07	GRIB, WILLIAM R & IRMA H	76 1/2 OCEAN AVE	76 1/2 OCEAN AVE	MANASQUAN, NJ 08736
162	20.02	FERRANTE, ROBERT & LINDA; GUZIK, J	80-80-1/2 OCEAN AVE	80 OCEAN AVE	MANASQUAN, NJ 087363220
162	21.01	COLLINS, JUDITH P	82 OCEAN AVE	82 OCEAN AVE	MANASQUAN, NJ 08736
162	21.04	CHAPMAN, MARTIN DEAN, TRUSTEE	86 OCEAN AVE	PO BOX 225	MANASQUAN, NJ 08736
162	21.05	CHAPMAN, MARTIN D	88 OCEAN AVE	PO BOX 225	MANASQUAN, NJ 08736
162	22.01	DARAGO, EVANGELINE	90 OCEAN AVE	90 OCEAN AVE	MANASQUAN, NJ 087363220



Key Map

Notes

- THE PROPERTY IS KNOWN AND DESIGNATED AS TAX LOT 18.05 BLOCK 162 AS SHOWN ON BOROUGH TAX MAP SHEET #25
- DEED REFERENCE: DEED BOOK 9705 P. 6393
- TOPOGRAPHIC SURVEY INFORMATION FROM TOPOGRAPHIC SURVEY TAX LOT 18.05 BLOCK 162 BOROUGH OF MANASQUAN, MONMOUTH COUNTY BY EDWARD W. WEINERT, N.J.P.L.S. #12840, WSB ENGINEERING GROUP, P.A. JOB# 2011-108 DWG. 17045, DATED 07-14-2010, UNDESIGNED, BENCHMARK: NATIONAL GEOGRAPHIC DISK #P7888 ELEV.=7.72, DATUM 1988 NAVD
- PROPERTY IS WITHIN FLOOD HAZARD ZONE "AE", E.L.8 PER THE F.L.H.M. FLOOD INSURANCE RATE MAP, PANEL NO. 456 OF 457, MAP NO. 50020456E, EFFECTIVE DATE SEPT. 26, 2009, DATUM NAVD 1988.
- NOTICE - A PRELIMINARY F.E.B.M. ISSUED BY FEMA ON JAN. 31, 2014 RECLASSIFIES THE PROPERTY TO AN "AE" ZONE WITH AN ELEVATION OF 8.0
- LOCATION OF EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY CO. AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS AS OTHER UNCHANGED UTILITIES MAY EXIST. CONTRIBUTION IS RESPONSIBLE IN DETERMINING THE ACTUAL LOCATIONS, BOTH HORIZONTALLY AND VERTICALLY, OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION INVOLVING EXCAVATION OR OTHER GROUND DISTURBANCE. CONTRACTORS SHALL CONTACT NEW JERSEY ONE CALL AT LEAST 72 HOURS IN ADVANCE OF WORK 1-800-272-2000.
- DWELLING TO BE SITUATED UPON OPEN PILES & ELEVATED CRAWL SPACE (GARAGE) WITH ANY ENCLOSED AREA BELOW THE LOWEST FLOOR OF DESIGN FLOOD HAZARD ELEVATION USED SOLELY FOR STORAGE, VEHICLE PARKING OR BUILDING ACCESS AND ANY ENCLOSURE IS PROVIDED WITH LATTICE OR OTHER MATERIAL ALLOWING PASSAGE OF FLOOD WATER AS REQUIRED BY IBC/2009 BUILDING CODE AND FEMA LATEST EDITION. SEE SCHEMATIC FLOODING PLAN AND FINAL DESIGN SHOWN ON THE ARCHITECT'S PLAN.
- USE ONLY PERMEABLE WEED BARRIER IN THE EVENT OF ANY MUDCH COVERING THAT IS USED FOR LANDSCAPING.
- SEWER & WATER TO USE EXISTING SIZES.
- NO DISPOSAL SHALL BE REMOVED FROM THE LOT & SHALL BE PLACED MIN. 4' DEEP.
- EXISTING IMPERVIOUS: 1,588 SF
PROJECTS EXISTING & PROPOSED IMPERVIOUS: 2,218 SF
INCREASE=630 SF
- ROOF RUNOFF DIRECTED TO DRYWELLS, LOT GRADINGS TO DIRECT RUNOFF AWAY FROM ADJOINING DWELLINGS
- DRIVEWAY & DRIVEWAY APRON SHALL BE CONSTRUCTED ACCORDING TO SEC. 20.3 OF THE MUNICIPALITY'S LAND USE & DEVELOPMENT CODE.
- ALL DISTURBED SOILS SHALL BE STABILIZED WITH DECORATIVE STONE, LANDSCAPING OR TOPSOIL & SEEDING WITH TURFGRASS. OUT OF SEASON SEEDING REQUIRED. MINIMUM
- ELECTRIC METER TO BE INSTALLED PER JCP&L REQUIREMENT WITH BOTTOM OF METER PAN SET AT MIN. ELEV. 11.0. PRIOR TO ISSUANCE OF BUILDING PERMIT A "DR F" FROM JCP&L SHALL BE PROVIDED.
- NO EXISTING TREES TO BE REMOVED

R-2 Zoning Schedule

Parameters:	Required	Provided
Min. Lot Area (SF)	5000	4504*
Min. Lot Frontage (Ft)	50	37.50*
Min. Front Setback (Ft)	25	43.9
Min. Side Setback (Ft)	5	5.1
Min. Side Combined (Ft)	10	12.7
Min. Rear Setback (Ft)	20	11.9**
Max. Lot Coverage (%)	45	51.47**
Max. Blgd. Height (Ft/Sy)	33/2.5	32.90/2.5

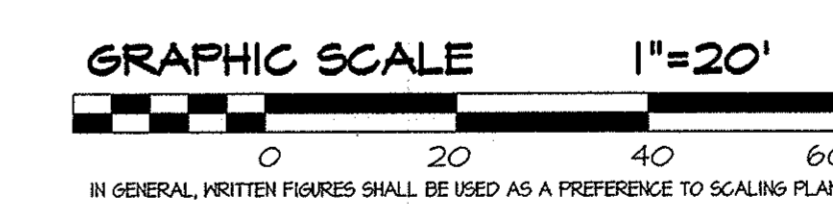
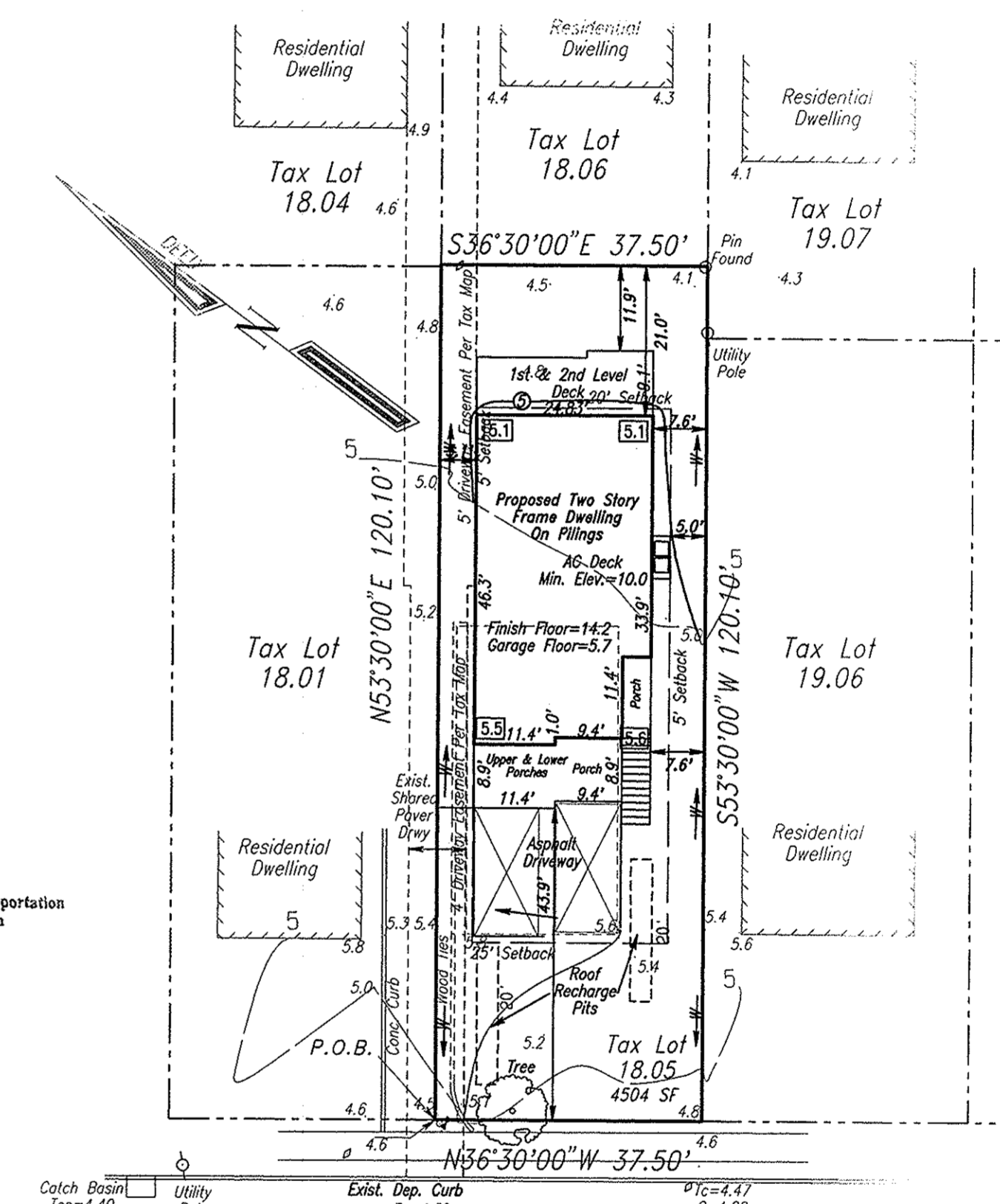
* Variance - Existing Condition
** Proposed Variance

03-24-21	Revise Per Zoning Review	BAD
03-05-21	Revise Zoning Table	BAD
date	revision	by ck.

Variance Map
Tax Lot 18.05 Block 162

As Shown on the Boro of Manasquan Tax Map Sheet #25
Last Revised: November 2013
Tract Containing 4504 SF
Street Address: #74 Ocean Avenue

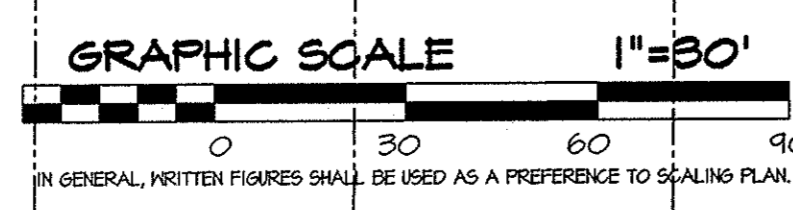
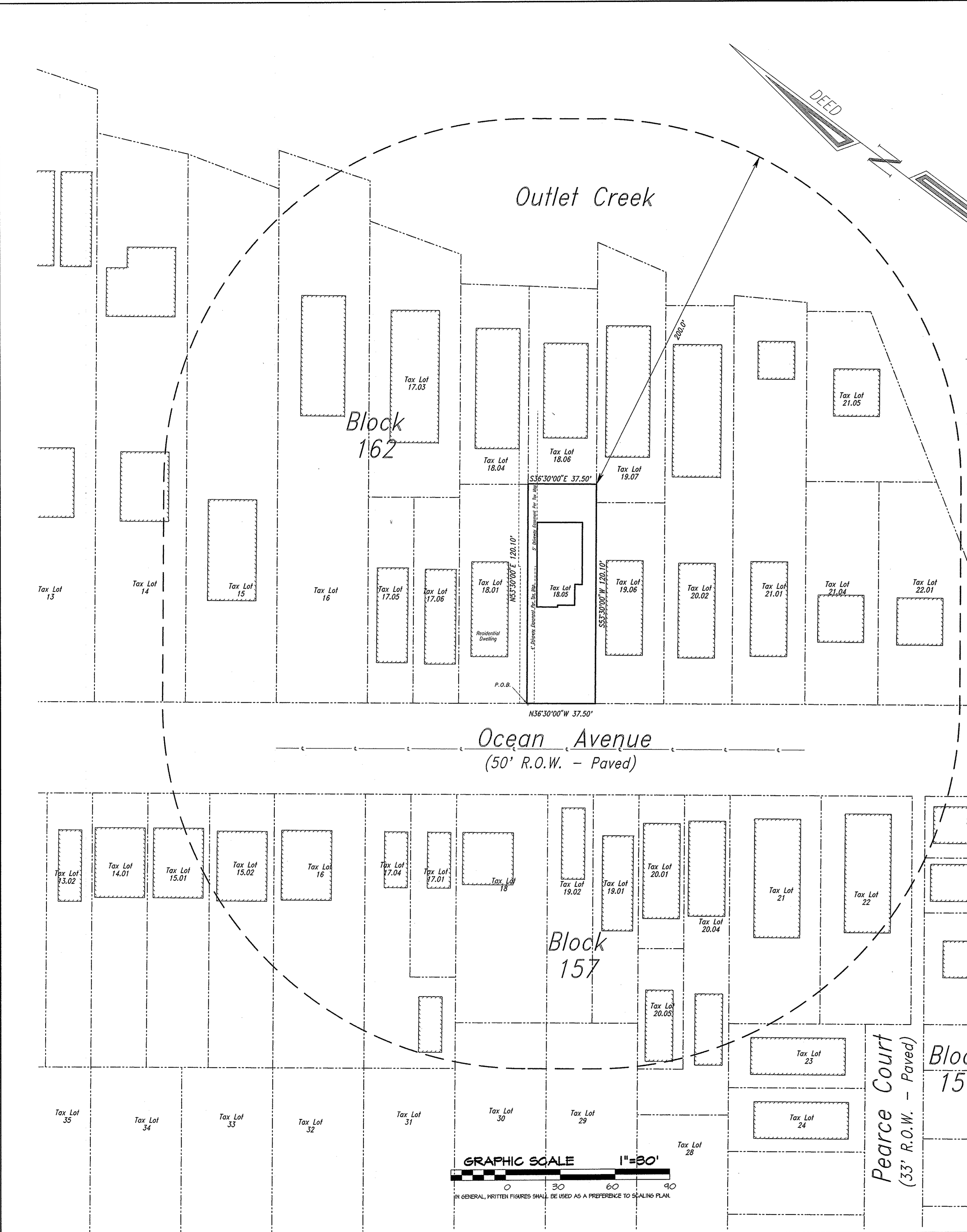
des.	date	scale	As Noted
dwn. BAD	09-28-20		
chk.	sheet 1 of 1	dwg. no. 63368	B



ROOF DRYWELL CALC.
Calculation (per Sec. 28-1.3)
1 cu. ft. for each 12 sq. ft. of roof area
PROVIDED: 1,588 SF Roof/12 = 131.67 cu. ft. Req.
Use 1" HDPE Pipe @ 3.75" x 2.88 Stone Trench
3.25 x 2.88 = 8.385 sq. ft.
Less Pipe Area = 3.14(8.385) = 0.39 x 3.14 = 1.227 of
8.385 - 1.227 = 7.158 sq. ft. x 0.40 Voids = 2.863 sf
(Pipe + Trench Voids) x 40% = (1.227 + 2.836) x 40 = 163.6 cf
163.6 cf > 131.67 of Required

Building Height Calc:
Bldg Height= 31.75
Garage Floor= 5.70
Top of Curb= 4.47
32.98

- Variations:
- 35-9.4: LOT AREA - 5000 SF REQUIRED, 4504 SF EXISTING & PROPOSED
 - 35-9.4: LOT FRONTAGE - 50 FT REQUIRED, 37.5 FT EXISTING & PROPOSED
 - 35-9.4: REARYARD SETBACK - 20 FT REQUIRED, 11.9 FT TO DECK PROPOSED
 - 35-11.8a: PROHIBITED DECK ABOVE HIGHEST FINISHED FLOOR, ROOF DECK PROPOSED



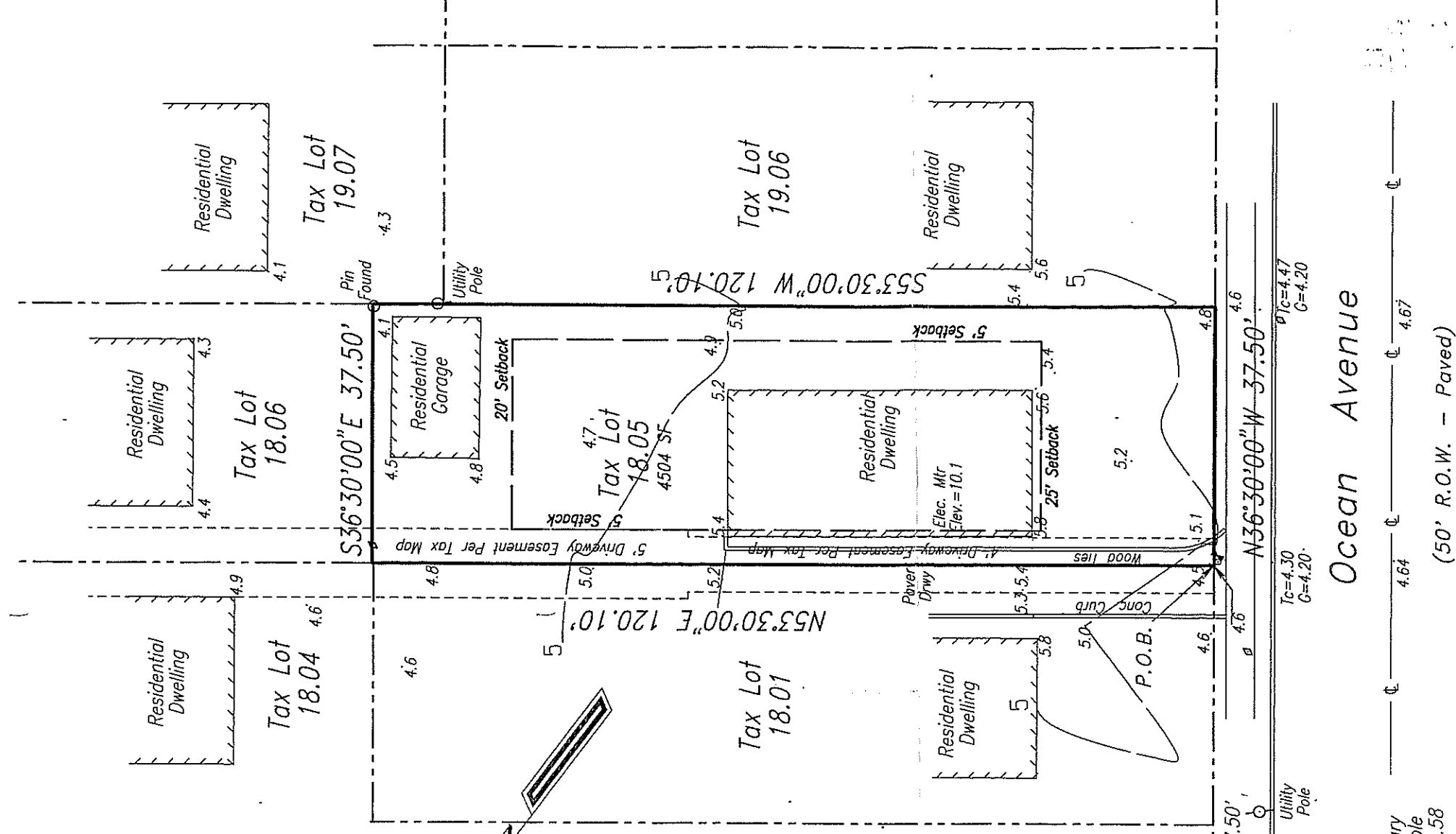
Building Location Dimensions Shown Hereon are not to be Used as a Basis for the Erection of Fences or Other Permanent Structures.
A Written Notice and Direction not to Sell Cancer Markers has been Obtained from the Ultimate User Pursuant to P.L.2003, c.14 (N.J.S.A. 45B-36.3) and N.J.A.C. 15A9-5.1(f).
N.J. Professional Engineer 2423207600 N.J. Professional Planner 53.100230100

WSB engineering group, p.a.
Weinert * Smilzins * Baer
engineering * environmental planning * surveying * landscape architecture
1018 Schenck's Mill Line Road, Tom's River, New Jersey 08753 (732) 244-1221 Fax (732) 505-8440
Prepared under the supervision of:
FRANK J. BAER JR.
DATE 9/16/20

The Certification of this Survey on the Date Shown is Limited to the Named Parties on the Purchase, Mortgage and/or the Issuance of Title Insurance on such Transactions of the Herein Delineated Property. No Responsibility or Liability is Assumed by the Certifying Surveyor and/or Firm for Use of the Survey for any Other Purpose Including, But not Limited to, Use of the Survey for Survey Affidavit, Resale of Property, and Direct or Indirect Use by Any Party Now Shown in the Certification.

Certified To;
John Baldino

DEED REFERENCE:
DB #9705 PG #6393



R-2 Zone Requirements

Parameter:	Required:	Provided:
Min. Lot Area (St)	5000	4504
Min. Lot Frontage (Ft)	50	50
Min. Front Setback (Ft)	25	25
Min. Rear Setback (Ft)	20	20
Min. Side Setback (Ft)	5	5
Min. Side Combined (Ft)	10	10
Max. Building Height (Ft/Sty)	35/2.5	35/2.5
Max. Bldg Coverage (%)	25	25
Max. Coverage (%)	35	35

N. Potter Avenue
(50' R.O.W. - Paved)

Benchmark: NGS Monument #DP7898
Elev.=7.72 (Datum=NAVD88)
The Entire Lot is in Flood Zone "AE" (Elev. 8)
Per F.I.R.M. Panel #34025C0456F.
Dated 09/26/2009

The Entire Lot is in Flood Zone "AE" (Elev. 9)
(No LIMWA) Per F.I.R.M. Panel #34025C0456G,
Dated 01/31/2014

Building Location Dimensions Shown Hereon are not to be Used as a Basis for the Erection of Fences or Other Permanent Structures.

A Written Waiver and Direction not to Set Corner Markers has been Obtained from the Ultimate User Pursuant to P.L.2003, c.14 (N.J.S.A. 45:8-36.3) and N.J.A.C. 13:40-5.1(d).

WSB engineering group, p.a.

Weinert * Smildzins * Baer
engineering * environmental planning * surveying * landscape architecture
1018 Schenck's Mill Line Road, Toms River, New Jersey 08753 (732) 244-7221 Fax (732) 505-8440
Exempt from Certificate of Authorization
Prepared under the Supervision of:

EDWARD M. WEINERT

NJ Professional Land Surveyor 2465003128400
NJ Professional Planner 33100375600

DATE: 8/6/20

Notice: This Drawing may not be Copied, Reused, Disclosed, Distributed or Relied Upon for any other Purpose Without the Written Consent of WSB Engineering Group, P.A.

date	revision	by	ck.

Topographic Survey

Tax Lot 18.05 Block 162

As Shown on the Boro of Manasquan Tax Map Sheet #25
Last Revised: November 2013
Tract Containing 4504 SF
Street Address: #74 Ocean Avenue

Manmouth County

Boro of Manasquan

New Jersey

des. date 07-14-20 scale 1"= 20'

dwn. MS job no. 2201-188

chk. sheet 1 of 1 dwg. no. 17625

Item 2.

June 9, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1600
Variance – Baldino
Block 162, Lot 18.05
74 Ocean Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Topographic Survey prepared by Edward Weinert, P.L.S., of WSB Engineering Group, PA, dated July 14, 2021.
2. Variance Map prepared by Frank Baer, PE, PP, of WSB Engineering Group, PA, dated September 28, 2020, last revised March 24, 2021.
3. Architectural Floorplans and Elevations, prepared by David Feldman, RA, of Feldman & Feldman Architects, dated February 10, 2021.

The property is located in the R-2 Single-Family Residential Zone with frontage on Ocean Avenue. With this application, the applicant proposes to construct a new two-story raised dwelling and associated site improvements on the existing lot. The application is deemed complete as of June 9, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:
 - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 11.9 feet is proposed.
 - b. A maximum building coverage of 30% is permitted, whereas a building coverage of 35.07% is proposed.

Re: Boro File No. MSPB-R1600
Variance – Baldino
Block 162, Lot 18.05

June 9, 2021
Sheet 2

- c. A maximum lot coverage of 45% is permitted, whereas a lot coverage of 51.47% is proposed.
3. The following non-conformities exist on Lot 18.05 and are not proposed to be modified as part of this application:
 - a. A minimum lot area of 5,000 square feet is required, whereas an area of 4,504 square feet exists and is proposed.
 - b. A minimum lot frontage of 50 feet is required, whereas a frontage of 37.5 feet exists and is proposed.
4. If a concrete landing is proposed for the front stairs it must be shown on the plan. This may also increase the lot coverage variance so the applicant's engineer should provide a revised coverage calculation if a pad is to be provided.
5. It should be confirmed that the proposed building height as provided is being measured from the top of curb at the front of the lot.
6. A stormwater management system as required by the borough's stormwater ordinance is proposed however, details for the recharge systems and the connections from the gutters to the system must be shown. Slotted cover should also be provided on the gutter overflows at grade.
7. A grading plan for the property has been provided, however there appears to be a small low area at the rear northeast corner of the property. The applicant's engineer should comment on how this area will drain or be addressed.
8. The required two parking spaces are provided which are accessed by an existing shared driveway easement with adjacent Lot 18.01
9. The proposed first floor elevation of the dwelling at 14.2 feet where the current base flood elevation is 9 feet.
10. The mechanicals for the dwelling are proposed in the easterly side yard on a raised platform but are located outside of the 5 feet side yard setback.
11. The method of property stabilization (stone, grass) should be indicated on the plot plan.
12. Any proposed utilities should be located underground if possible. The locations of the water and sewer laterals should be shown on the plan.
13. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
14. Any curb and sidewalk must be replaced along Ocean Avenue as necessary.




Re: Boro File No. MSPB-R1600
Variance – Baldino
Block 162, Lot 18.05

June 9, 2021
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

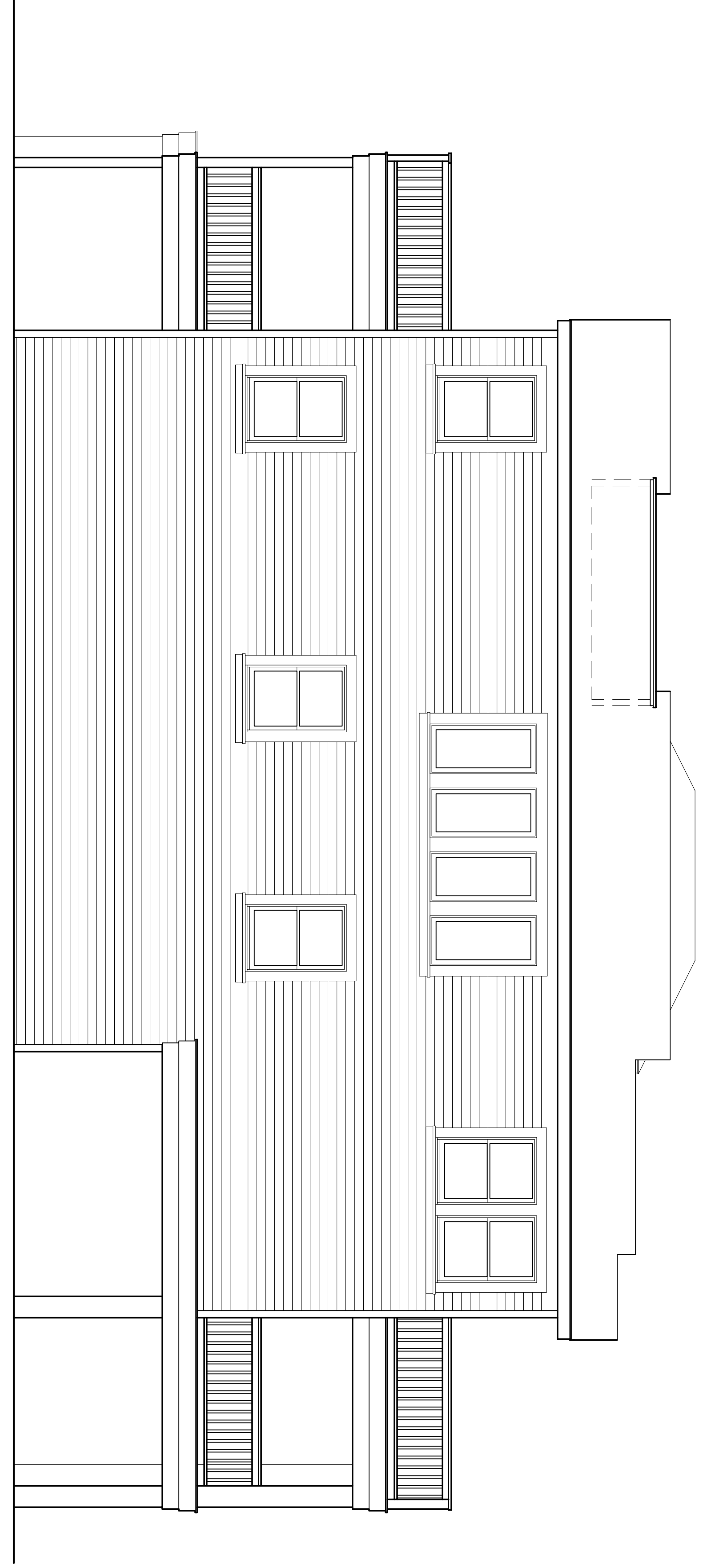
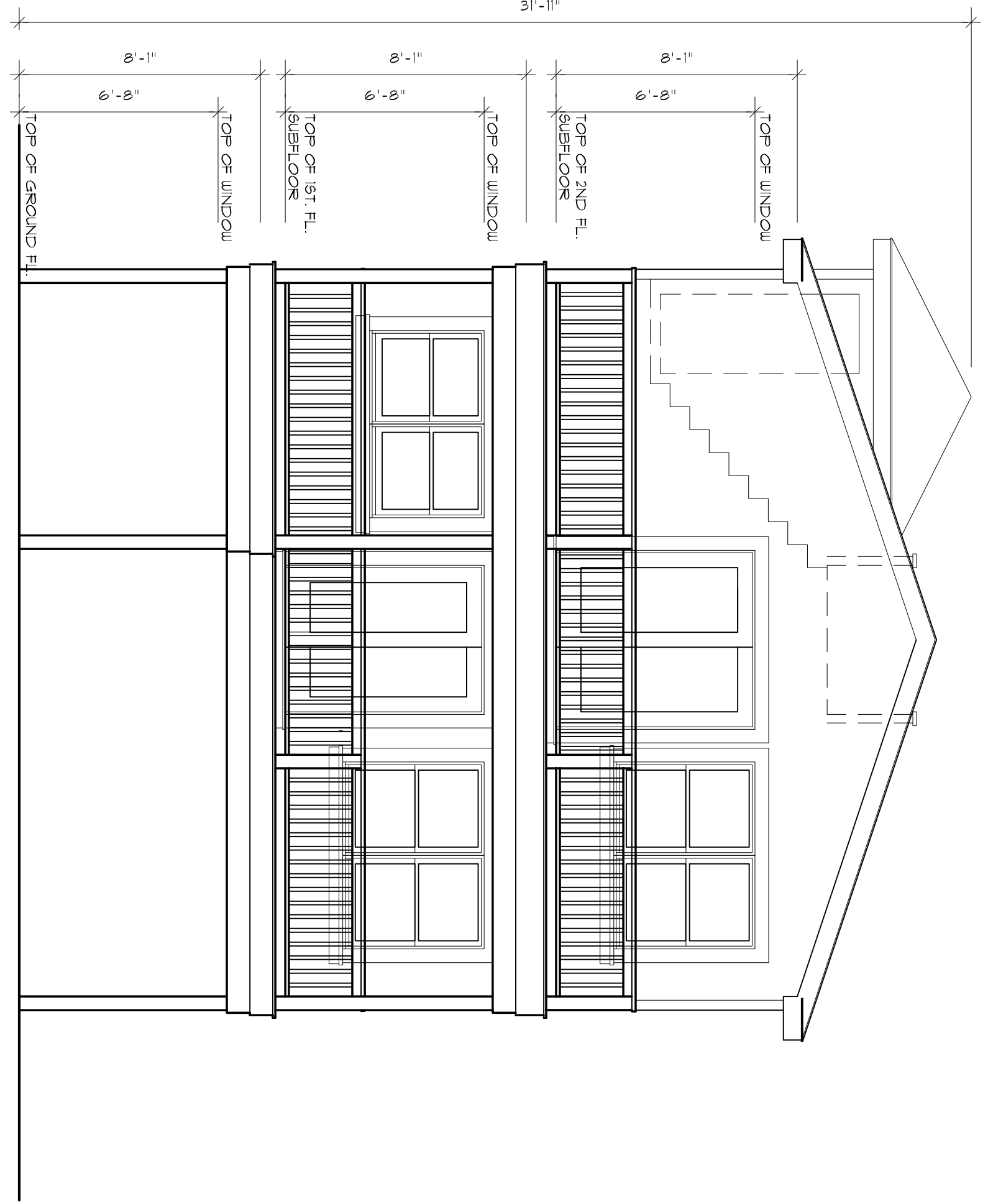
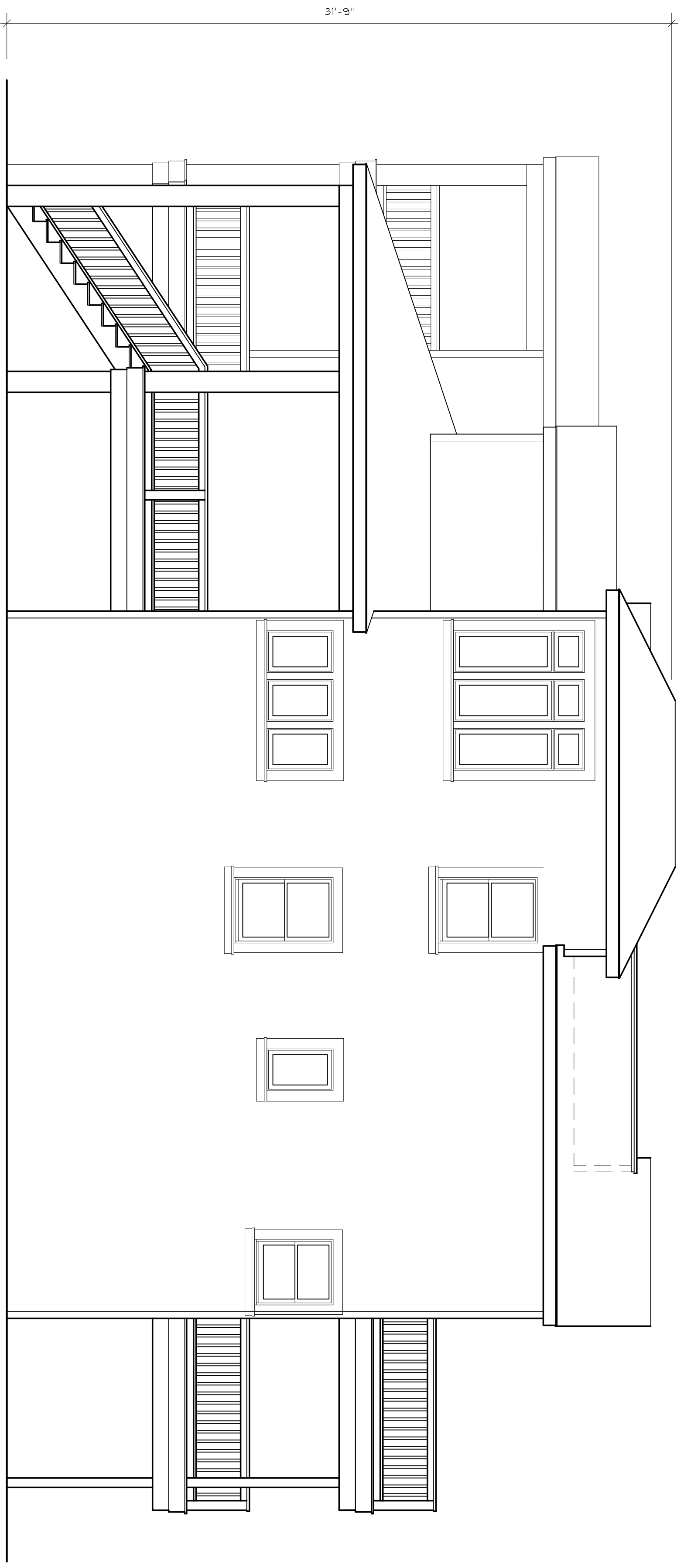
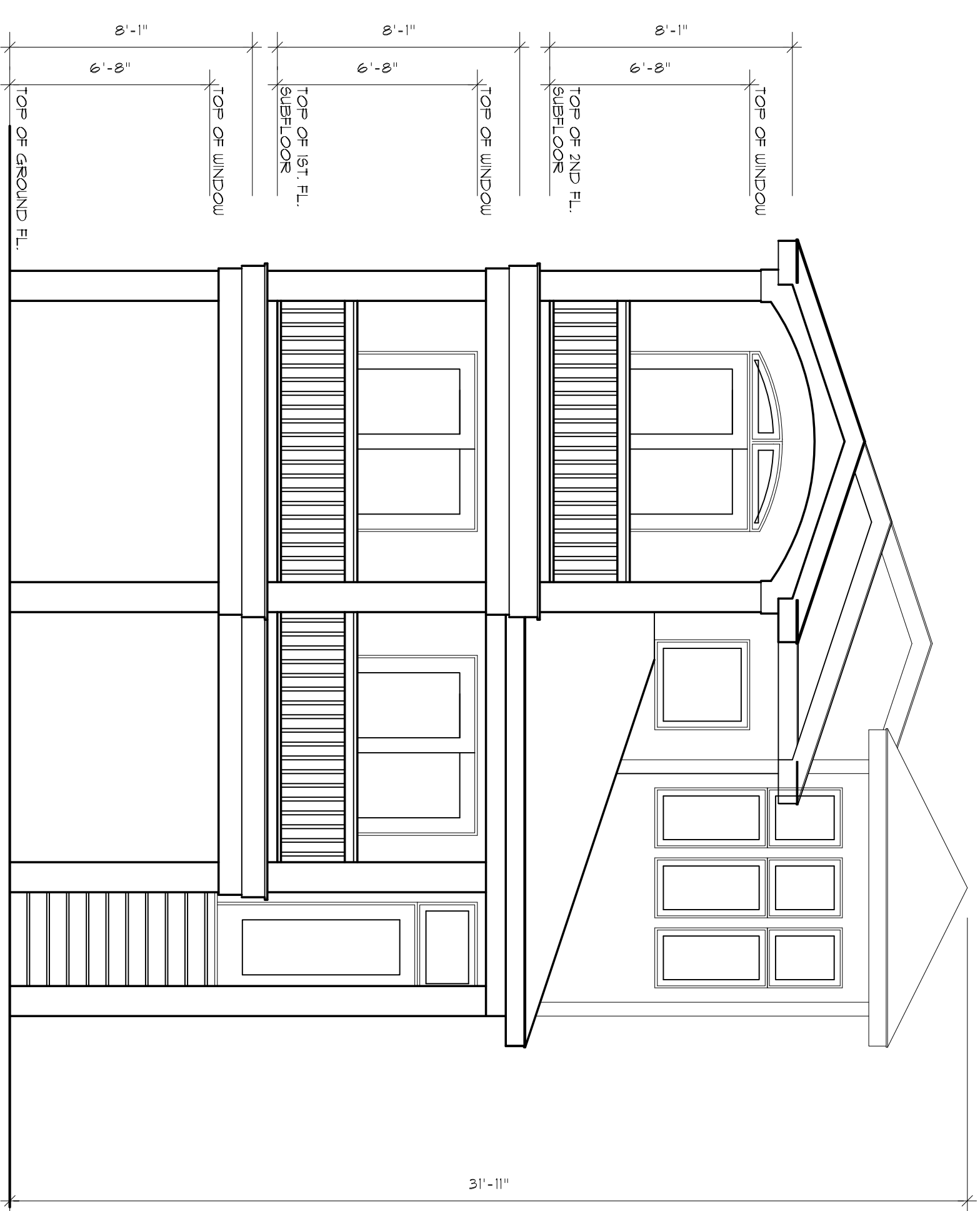
Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
MANASQUAN PLANNING BOARD
ENGINEER

ADY:jy

cc: George McGill, esq., Planning Board Attorney
C. Keith Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736
Frank Baer, PE, PP
WSB Engineering Group, 1018 Schencks Mill Line Road, Toms River, NJ 08753



Documents prepared by the Architect are submitted to the Authority for use solely with respect to the Project. The Authority shall return all documents and proper stamps and fees, including the stamp, to the Architect. The stamp shall not be used or placed on any other documents or drawings prepared by the Architect.

A1

SHEET 1 OF 3
 DAN BY: JC
 PROJECT: 3010

ELEVATIONS

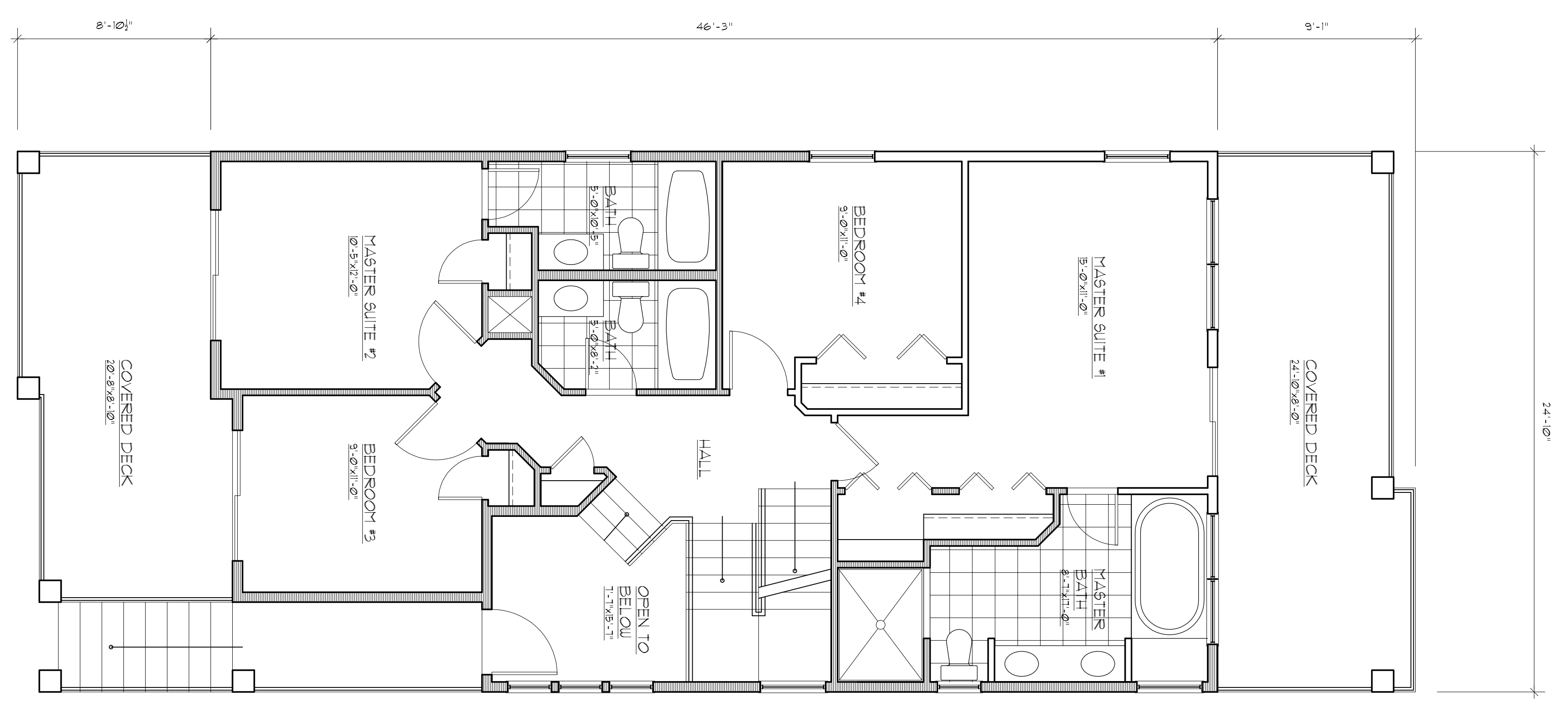
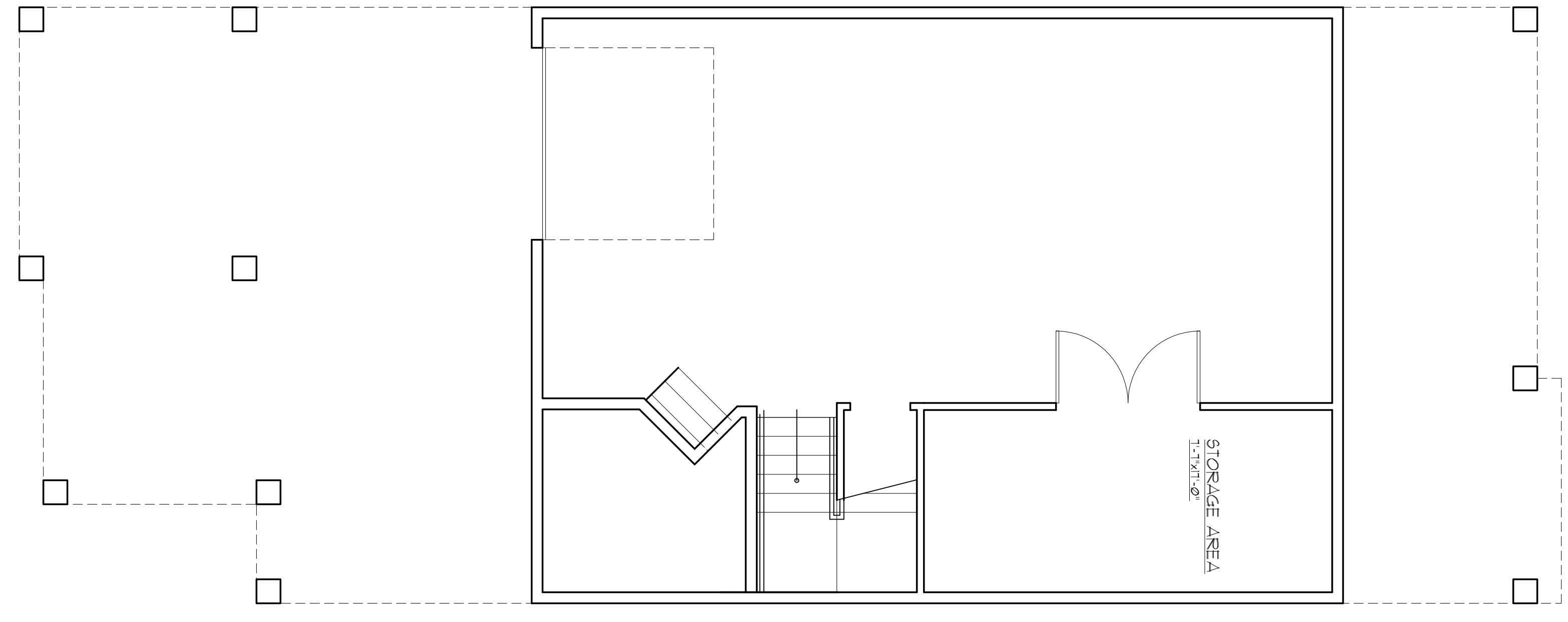
NEW CONSTRUCTION for:
 John Baldino
 14 Ocean Avenue
 MANASQUAN, NEW JERSEY



David H. Feldman, R.A., AIA
 N.J. #11721 TX#24785 FL#AR81542
 NY#02617011 CT#J0100931
 PA#RA42311 VA#04024026
 Marjorie Dopart-Feldman, R.A., AIA, NCARB
 N.J. #11543 VT#0202047553
 MD#11566 VA#040213843
 SC#9604 NC#14633 ME#ARC3610 RI#5123

FIELD: 02-0-101

1670 Route 34 North - Suite 1B - Wall, New Jersey 07727 - 732-761-8182



Documents prepared by the Architect are prepared for use solely with respect to the project. The Architect shall retain all control, the recording and proper filing and shall retain the right to reuse the design. The design shall not be used or copied for any other project without the written consent of the Architect.

A2

SHEET 1 OF 3

DAN BY JC

PROJECT 2020

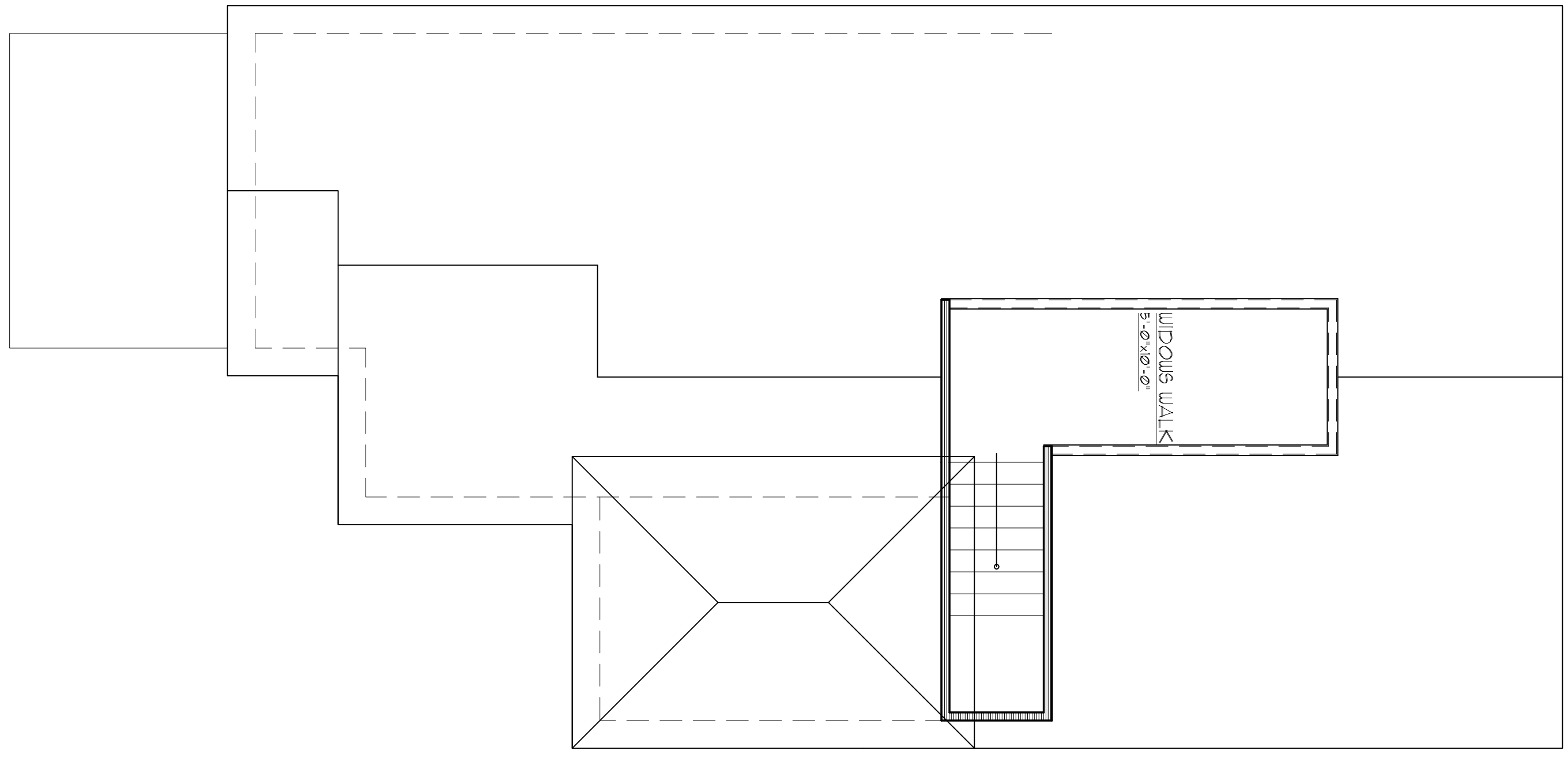
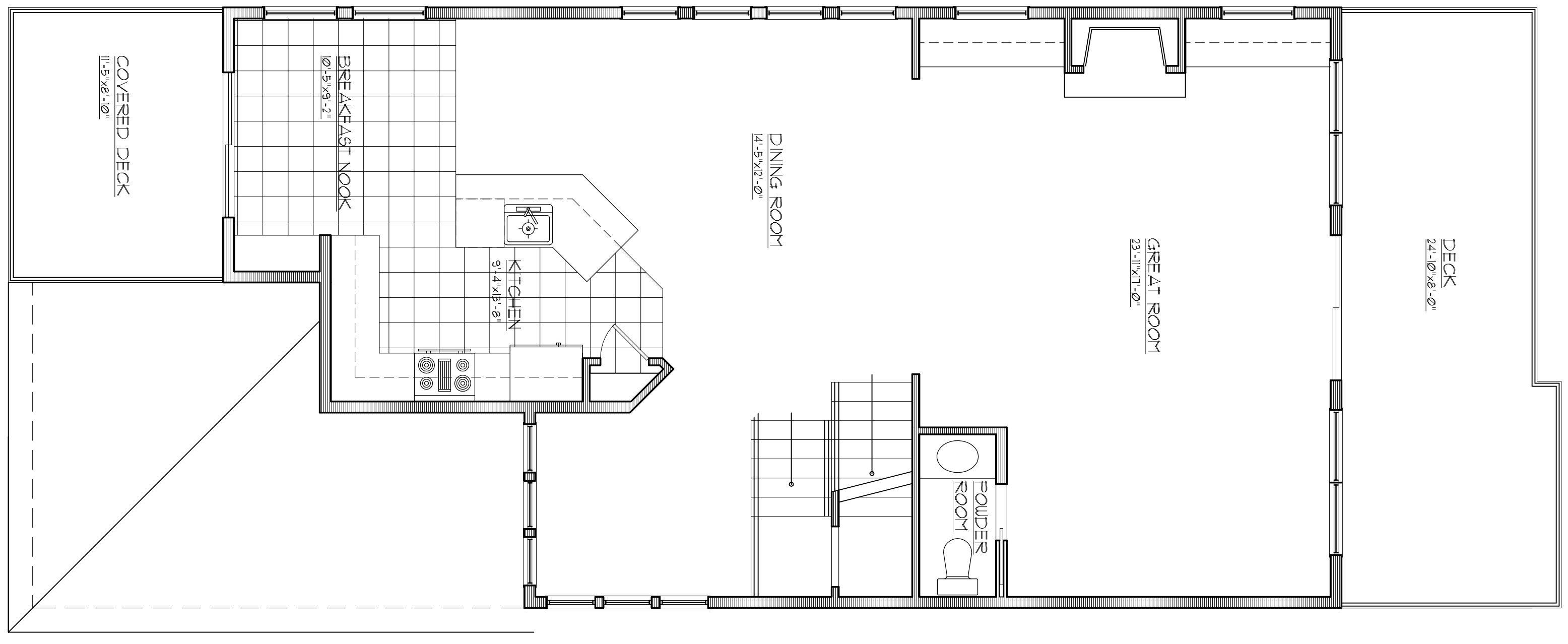
**GROUND FLOOR PLAN &
SECOND FLOOR PLANS**

NEW CONSTRUCTION for:
John Baldino
14 Ocean Avenue
MANASQUAN, NEW JERSEY



David H. Feldman, R.A., AIA
N.J. A11721 TX-24785 FL A-4831542
NY A-026170-1 CT A-48100933
PA A-04463311 VA A-04004026
Marjorie Dopart-Feldman, R.A., AIA, NCARB
N.J. A11543 VT A-0202047553
MD A-1566 VA A-04003843
SC A-9604 NC A-14633 ME A-RC3610 RI A-5123

FIELD A-5-2020



Documents prepared by the Architect are submitted to the Authority for use solely with respect to the project. The Authority shall return all documents, including and not limited to, drawings, specifications, and other documents, to the Architect upon completion of the project. The Architect shall retain the right to use the documents prepared by the Architect for any other project.

A3

PROJECT: 3010
 DATE: 11/11/21
 SHEET: 3 of 3

**SECOND FLOOR
 ROOF PLANS**

NEW CONSTRUCTION for:
 John Baldino
 14 Ocean Avenue
 MANASQUAN, NEW JERSEY



David H. Feldman, R.A., AIA
 N.J. #11721 TX#24789 FL#A831542
 NY#02670211 CT#481000931
 PA#RA463311 VA#040004026
 Marjorie Dopart-Feldman, R.A., AIA, NCARB
 N.J. #111543 VT#0200047553
 MD#11566 VA#040003843
 SC#9604 NC#14633 ME#ARC3610 RI#5123

FIELD# 03-31-2020

**PLANNING BOARD APPLICATION
MANASQUAN, NEW JERSEY**

I. APPLICANT: Thomas Perotti

Address: 65 Meadowbrook Rd.
Randolph, NJ 07869

Phone: 973-902-4628

**Property Address: 77 Ocean Ave
Block 157, Lot 20.01, Zone R-2
Flood Zone: AE BFE: 9 ft DFE: 10 ft
Manasquan, New Jersey 08736**

II. TYPE OF APPLICATION: Bulk Variances

Section 35-9.4

SITE			
	REQUIRED	EXISTING	PROPOSED
Area of Lot	5,000 s.f.	2,100 s.f. *	2,100 s.f.*
Percentage of Lot Coverage (Building)	30%	42%*	42%*
Percentage of Lot Coverage (Imp)	45%	51.9%*	51.9%*
Lot Frontage	50 ft.	25 ft*	25 ft. *
Building Height-Stories (crown 13.9ft)	33 ft. 2.5 stories	32.71 ft 2 stories	33 ft 2.5 stories
Front Yard Setback	25 ft	14 ft *	14 ft*
Side Setback (L)	5ft	4.4 ft*	4.4 ft*
Side Setback (R)	5ft	3 ft*	3 ft*
Rear Setback	20 ft	20.5 ft	20.5 ft

**Previously approved existing Non-Conformity *
Variance Requested ****

Section 35-3- Dormer Length—10 ft permitted; 17 ft. proposed.

III. SITE INFORMATION:

Street Address: 77 Ocean Ave

Block 157, Lot 20.01

Zoning Districts: R-2

Present Use: One Single Family Residential Dwelling

Proposed Use: One Single Family Residential Dwelling

VI. ZONE REQUIREMENTS: R-2 Zone

Min. Lot Area: 5,000 SF

Min Lot Frontage: 50 ft

Front Yard Setback: 25 ft

Side Setback: 5ft

Rear Setback: 20 ft

Max. Bldg. Height: 35 ft (33 ft for non-conforming lot)

Max Stories: 2 ½

Max. Bldg. Coverage: 30%

Max. Lot Coverage: 45%

V. MISCELLANEOUS:

1. Is the Applicant the Landowner? Yes
2. Does the Applicant own any adjoining land? No
3. Are the property taxes paid to date? Yes
4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? No.
5. Are there any deed restrictions, easements or covenants affecting the property?

VI. COMMENT:

Applicant seeks to construct a third floor, half story addition over the existing footprint and other interior alterations and renovations.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

Date

C. KEITH HENDERSON, ESQ
Attorney for Applicant

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

Item 3.

November 17, 2020

Thomas Perrotti
65 Meadowbrook Road
Randolph, NJ 07869

Re: Block: 157 Lot: 20.01 Zone: R-2 Flood Zone: AE BFE: 9ft. DFE: 10ft.
77 Ocean Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Construct a third floor addition over the existing building footprint and other interior alterations and renovations.

Survey prepared by Morgan Engineering on May 29, 2020. Plot plan and conceptual plans prepared by Daniel Governale on October 27, 2020.

Application denied for the following reason(s):

Section 35-9.4 – Lot Frontage – 50ft. Required
25ft. Existing

“ - Lot Area – 5,000s.f. Required
2,100s.f. Existing

“ - Front Setback – 25ft. Required
14ft. Existing

“ - Side Setback (Left) – 5ft. Required
4.4ft. Existing

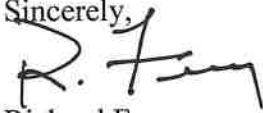
“ - Side Setback (Right) – 5ft. Required
3ft. Existing and proposed

- “ - Building Height – 33ft. Permitted
32.7ft. Existing
36.3ft. Proposed
- “ - Building Coverage – 30% Permitted
42% Existing
- “ - Lot Coverage – 45% Permitted
51.9% Existing

Section 35-3 - Dormer Length – 10ft. Permitted
17ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

May 26, 2021

Mary Salerno, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1570
Variance – Perrotti
Block 157, Lot 20.01
77 Ocean Avenue
R-2 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Architectural Floor Plans, Elevations, and Site Plan prepared by Daniel Governale, RA, of the Barlo, Governale & Associates, LLC, dated October 27, 2020, last revised February 17, 2021.

The property is located in the R-2 Single-Family Residential Zone with frontage on Ocean Avenue. With this application, the applicant proposes to construct new dormers on the existing top floor half story. The application is deemed complete as of May 26, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone.
2. The following bulk ('c') variances are required as part of this application:
 - a. A maximum dormer length of 10 feet is permitted, whereas a dormer length of 17 feet is proposed.
3. The following non-conformities exist on Lot 18 and are not proposed to be modified as part of this application:
 - a. A minimum lot area of 5,000 square feet is required, whereas a lot area of 2,100 square feet exists.
 - b. A minimum lot frontage of 50 feet is required, whereas a lot frontage of 25 feet exists.

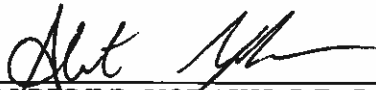
Re: Boro File No. MSPB-R1570
Variance – Perrotti
Block 157, Lot 20.01

May 26, 2021
Sheet 2

- c. A minimum front yard setback of 25 feet is required, whereas a setback of 14 feet exists.
 - d. A minimum side yard setback of 5 feet is required, whereas a setback of 3 feet exists (east).
 - e. A minimum rear yard setback of 5 feet is required, whereas a setback of 4.4 feet exists (west).
 - f. A maximum building coverage of 30% is permitted, whereas a coverage of 42% exists and is proposed.
 - g. A maximum lot coverage of 45% is permitted, whereas a coverage of 51.9% exists and is proposed.
4. The proposed dormers will raise the roof height by 0.3 feet, however the full height of the renovations will still meet the required 33 feet (32.71 feet exists).
 5. The applicant should indicate if any other size improvements are proposed which would change the coverage or grading on the lot.
 6. It does not appear that any existing trees will be removed as part of the application.
 7. Any curb must be replaced along Ocean Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

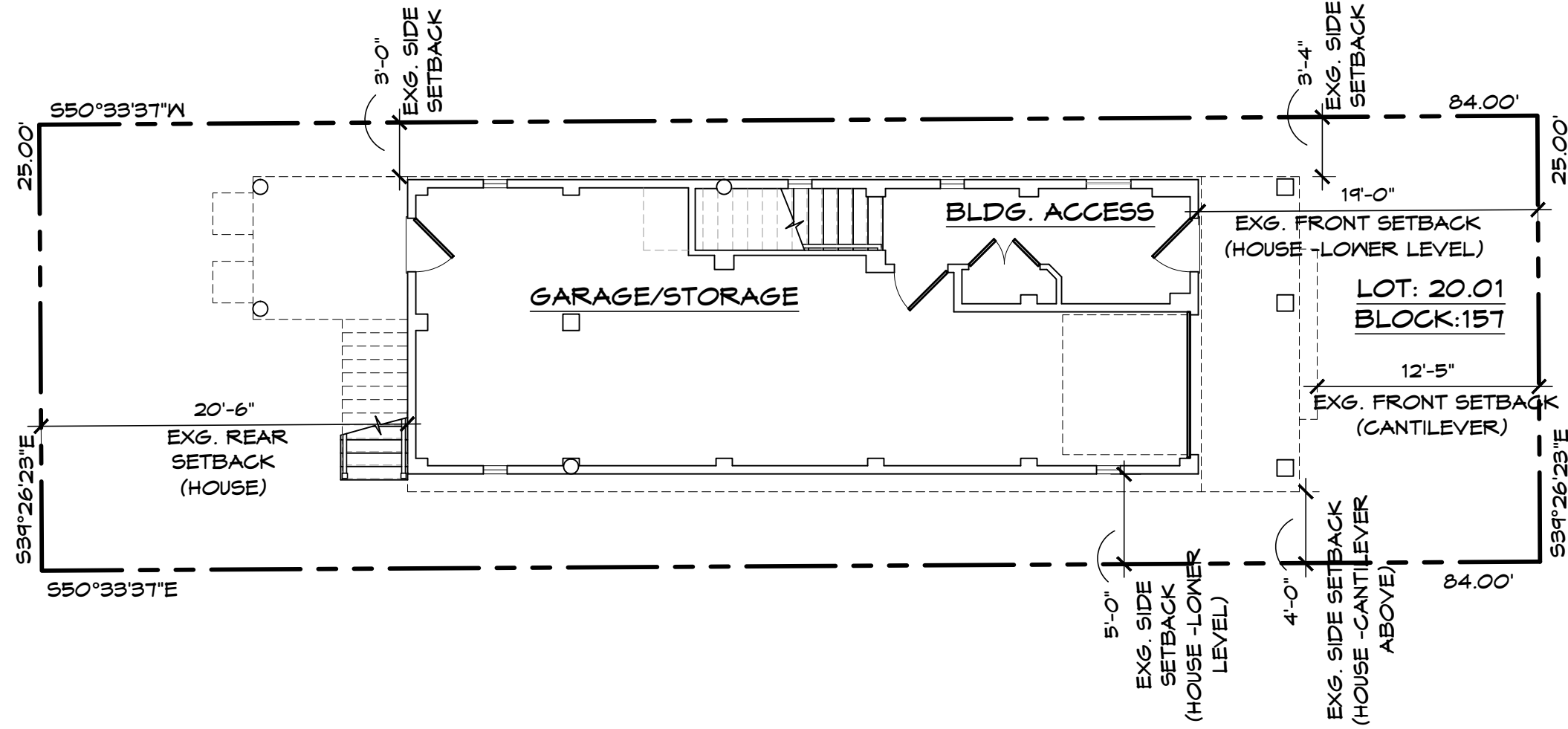
Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
C. Keith Henderson, esq.
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736
Daniel Governale, RA
Barlo, Governale & Assoc., 92 Mantoloking Road, Brick, NJ 08723
Thomas Perrotti
65 Meadowbrook Road, Randolph, NJ 07869

NOTE:
 THIS DRAWING IS NOT A SURVEY. SITE INFORMATION WAS TAKEN FROM A SURVEY DONE BY "MORGAN ENGINEERING & SURVEYING" PREPARED FOR LOT: 20.01, BLOCK: 157 IN THE BOROUGH OF MANASQUAN AND DATED MAY 29, 2020.



10 ILLUSTRATIVE SITE PLAN
 SCALE: 1/8" = 1'-0"

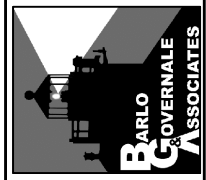
-OCEAN AVE.-

DATE: Oct. 27, 2020

SC-0

SHEET 1 of 4

Proj. No.	Drawing Title	Drwn/Chkd
22061	Illustrative Site Plan	JY/DG
	Revisions	
1/13/21	Cupola Dimensions	
2/17/21	Cupola Size Reduction	
2/17/21	Remove Cupola	
Scale	As Noted	



Proposed Addition:
Perrotti Residence
 Lot: 20.01, Block: 157
 77 Ocean Avenue
 Manasquan Borough, Mon. County, NJ, 08736

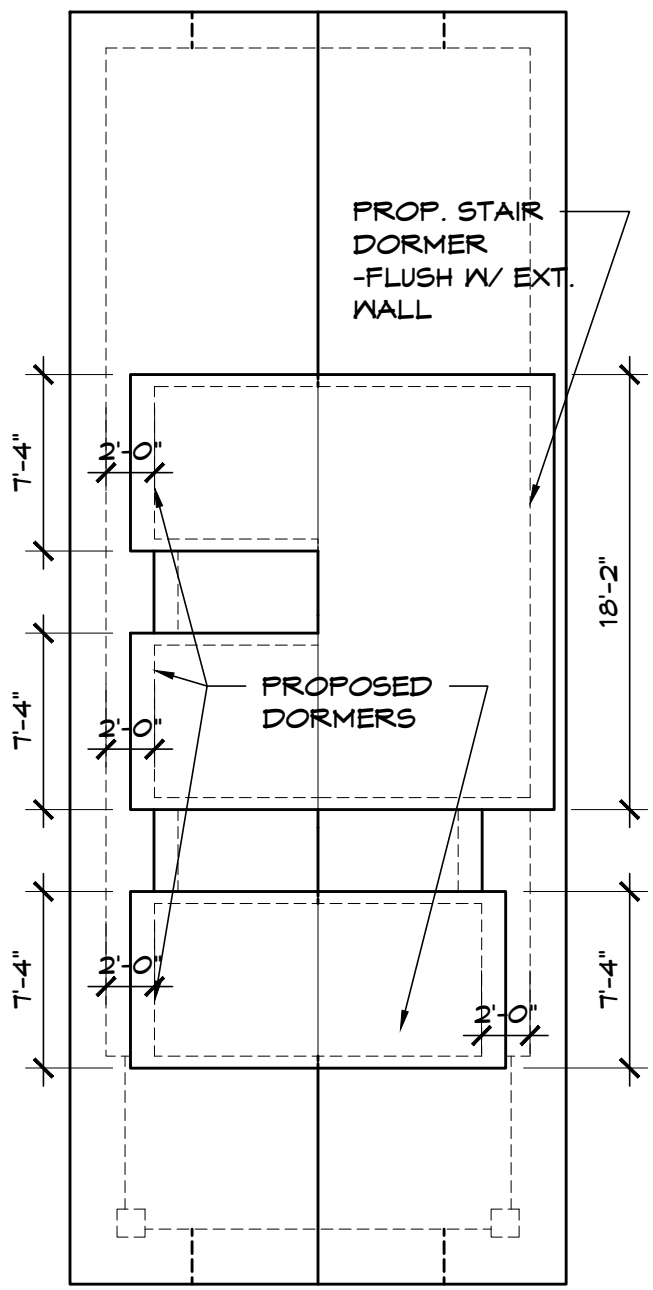
Daniel J. Governale, RA, AIA
 N.J. 21A0202200
 C.O.A. 21AC00103800

Barlo Governale & Assoc. L.L.C.
 Architecture • Planning
 92 Mantoloking Road
 Brick Township, NJ, 08723
 Tel. 732 • 477 • 7751
 Fax 732 • 477 • 6788
 E-mail: contact@barloarchitecture.com
 www.barloarchitecture.com

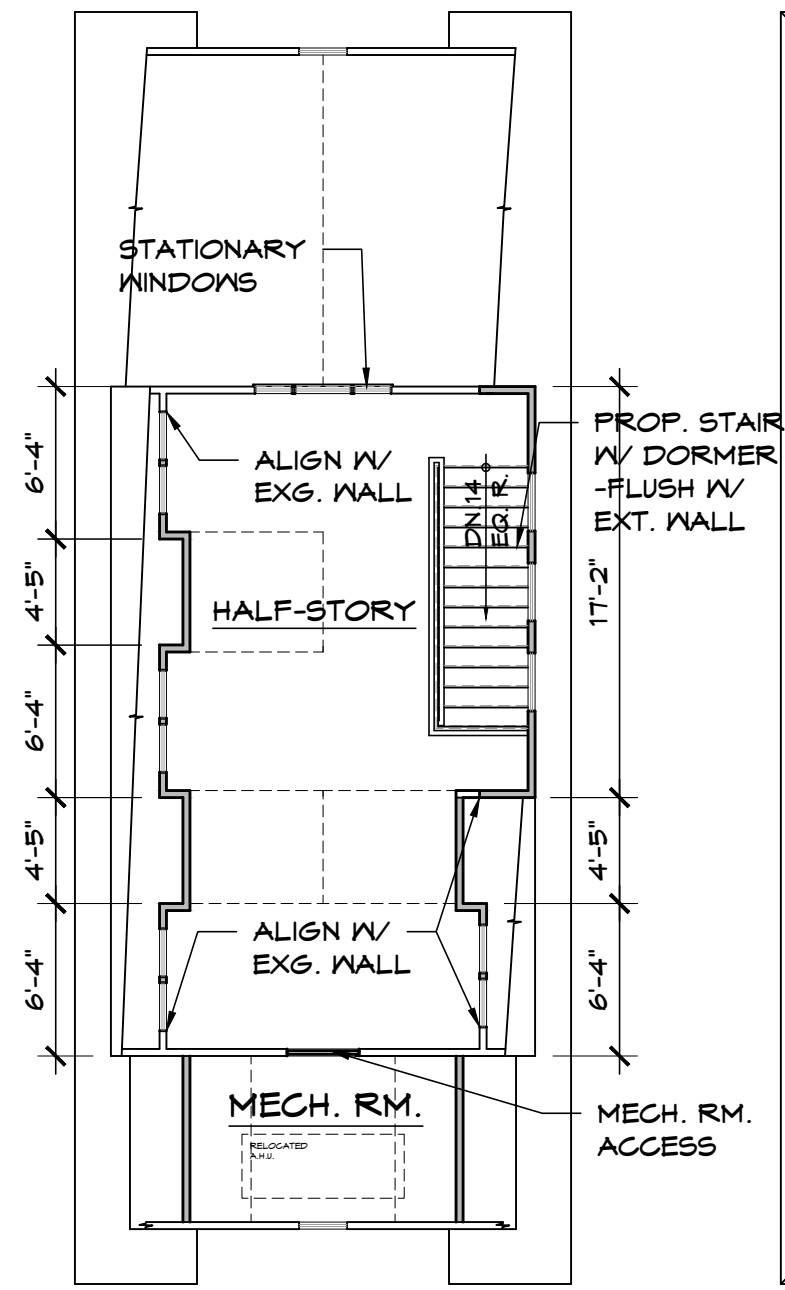
SECOND FLOOR INCLUDING STAIR 742 S.F.
 TOTAL DORMER/HALF-STORY INCL. STAIR 402 S.F.
 MECHANICAL ROOM ABOVE 5 FT. = 0 S.F. BELOW 5 FT. = 85 S.F.

HALF-STORY ALLOWABLE AREA
 60% OF 2ND FLOOR = 742 x.60 445 S.F.
 INCLUDING 2ND FL. DECK = 858 x.60 514 S.F.

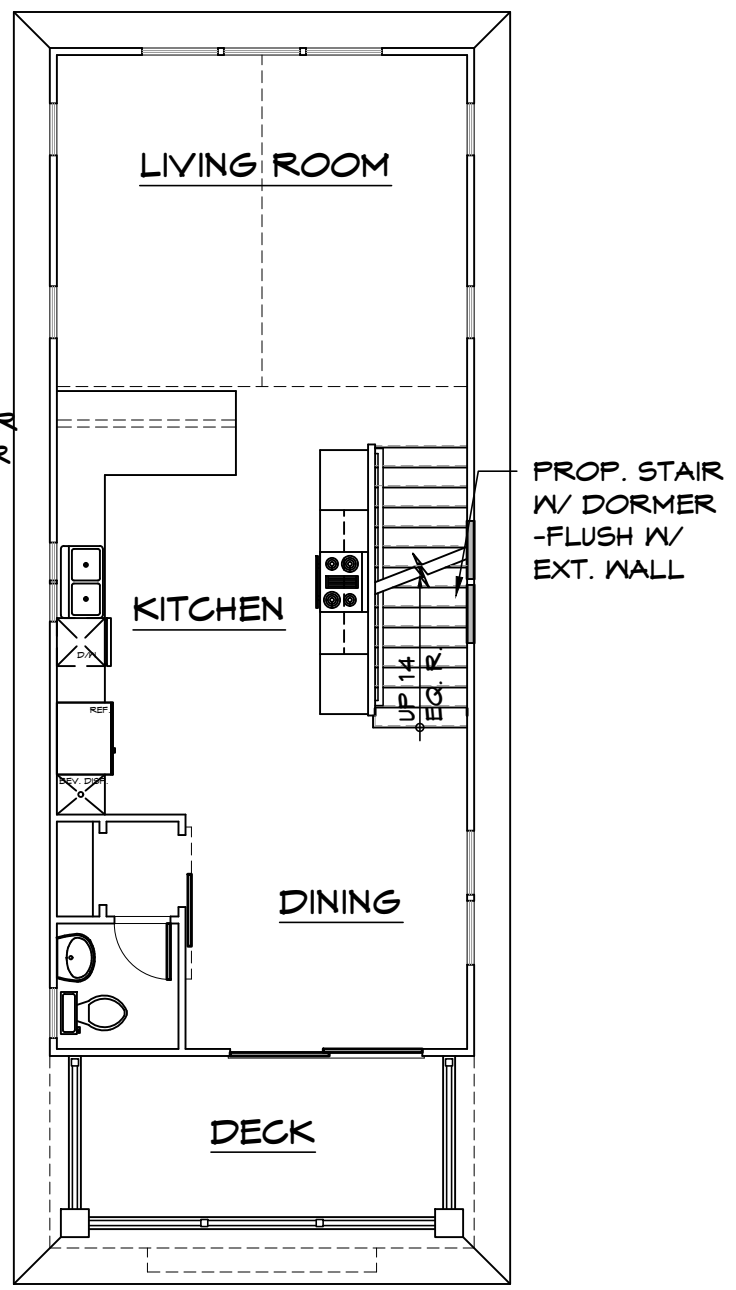
HALF-STORY OVER 5'-0"
 (COMPLIES W/ LOCAL ZONING) 402 S.F.



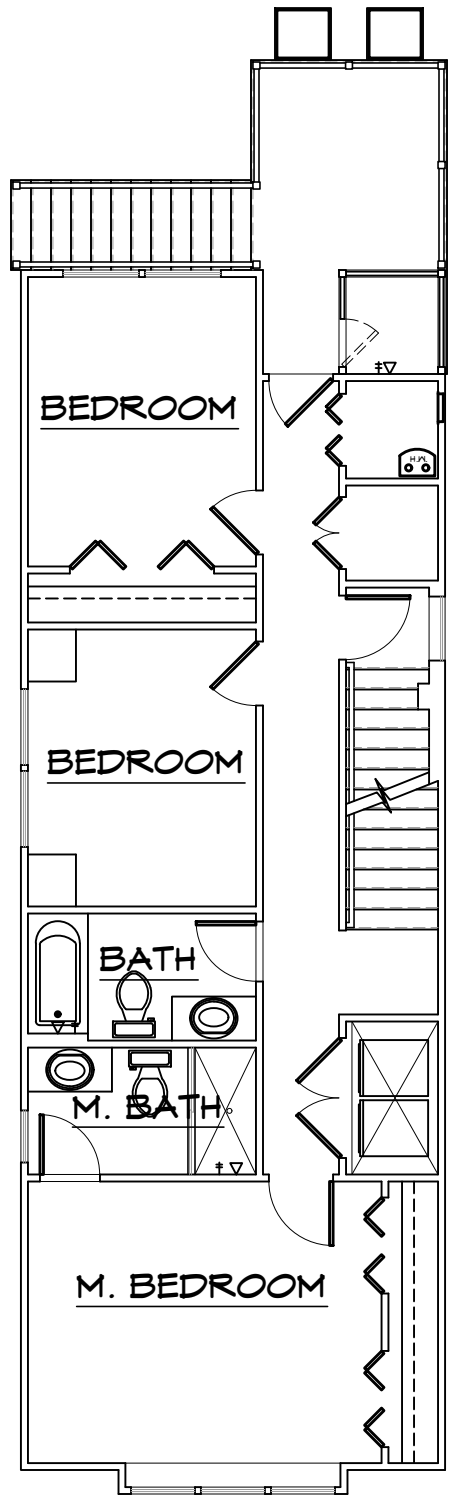
40 ROOF PLAN
 SCALE: 1/8" = 1'-0"



30 HALF-STORY PL.
 SCALE: 1/8" = 1'-0"



20 2ND. FL. PLAN
 SCALE: 1/8" = 1'-0"

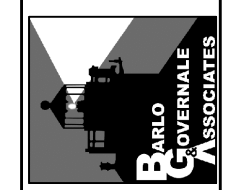


10 1ST. FL. PLAN
 SCALE: 1/8" = 1'-0"

Barlo Governale & Assoc. L.L.C.
 Architecture • Planning
 92 Mantoloking Road
 Brick Township, NJ 08723
 Tel. 732 • 477 • 7751
 Fax 732 • 477 • 6788
 E-mail: conarc@barloarchitecture.com
 www.barloarchitecture.com
 A LIMITED LIABILITY COMPANY

Daniel J. Governale, RA, AIA
 N.J. 21A0202200
 C.O.A. 21AC00103800

Proposed Addition:
Perrotti Residence
 Lot: 20.01, Block: 157
 77 Ocean Avenue
 Manasquan Borough, Mon. County, NJ, 08736

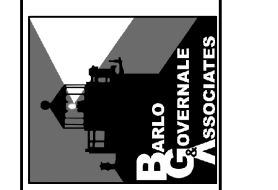


Proj. No.	Drawing Title	Dwn/Chkd
22061	Plans	JY
1/13/21	Revisions	DG
2/17/21	Cupola Dimensions	
2/17/21	Cupola Size Reduction	
2/17/21	Remove Cupola	
Scale	As Noted	

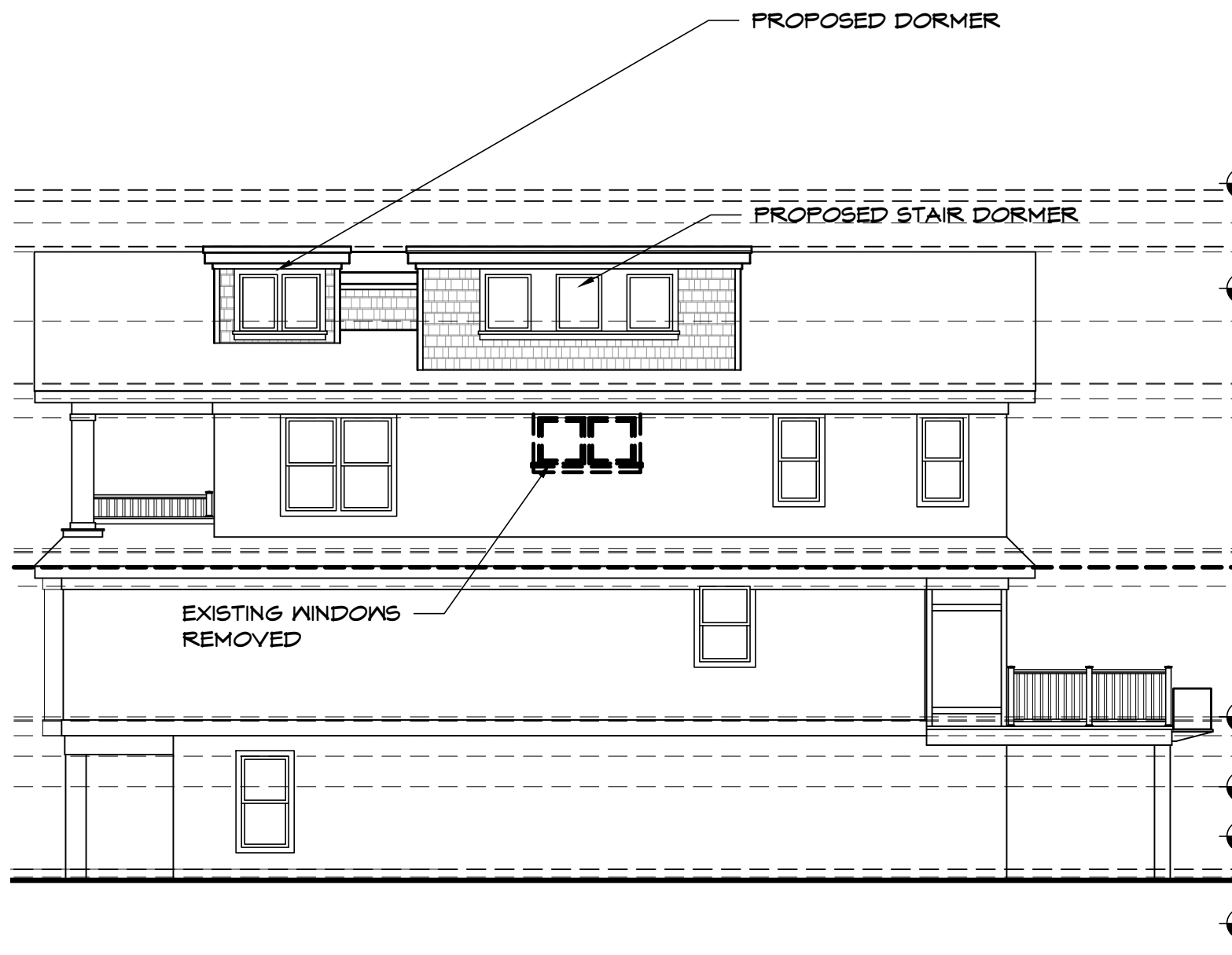
DATE: Oct. 27, 2020

SC-1

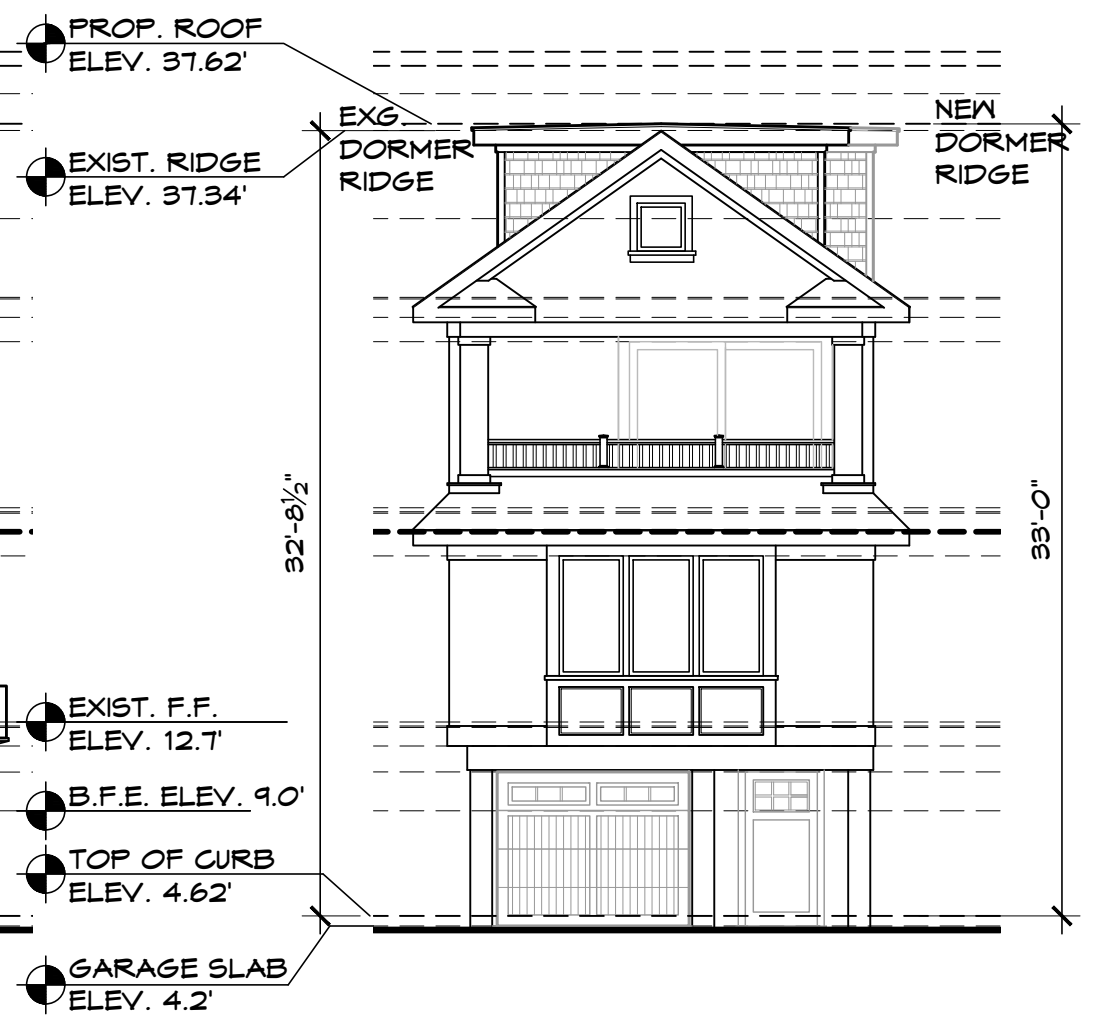
SHEET 2 of 4



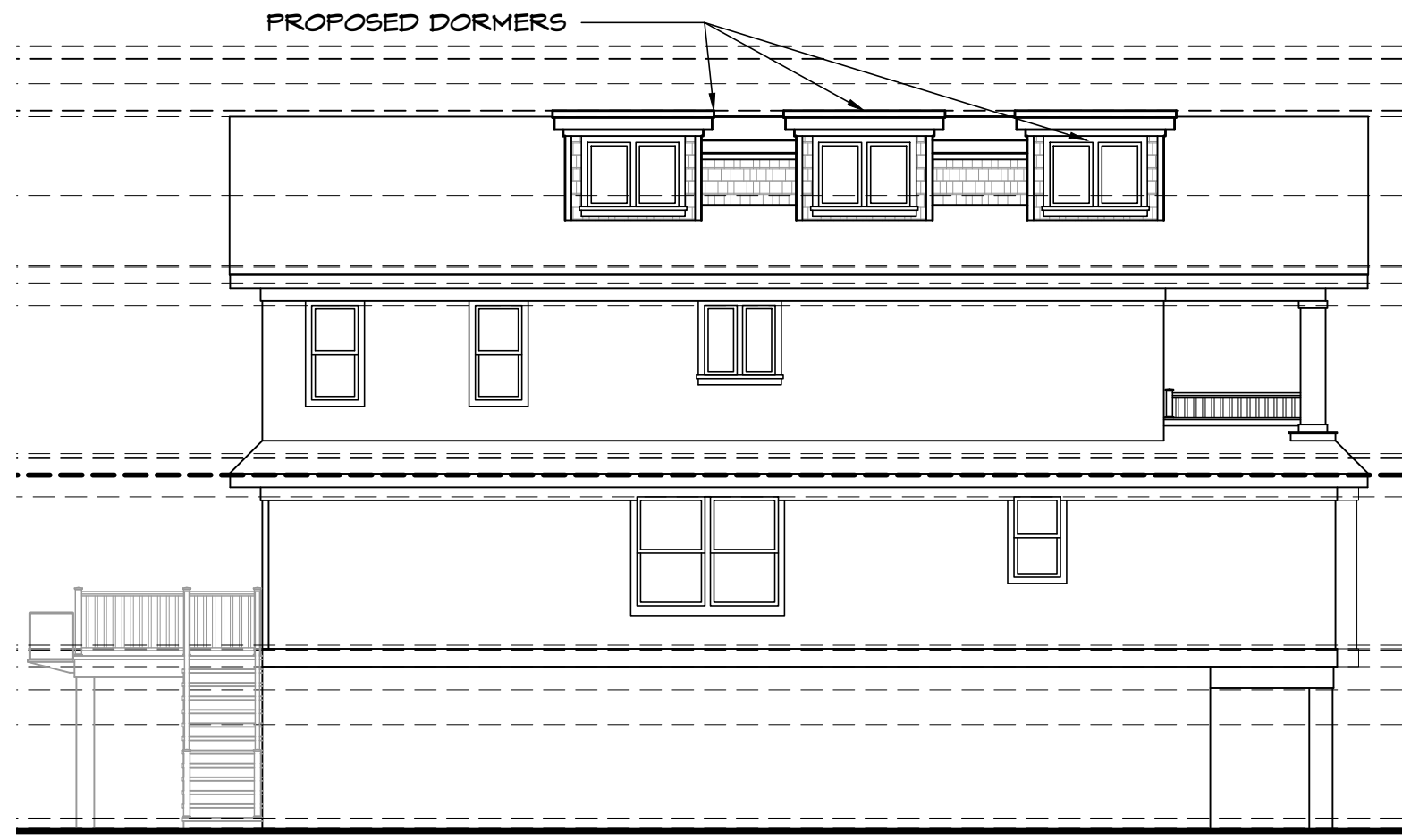
Proj. No.	Drawing Title	Drwn/Chkd
22061 <td>Elevations <td>JY/DG </td></td>	Elevations <td>JY/DG </td>	JY/DG
1/13/21 <td>Revisions <td></td> </td>	Revisions <td></td>	
2/17/21 <td>Cupola Dimensions <td></td> </td>	Cupola Dimensions <td></td>	
2/17/21 <td>Cupola Size Reduction <td></td> </td>	Cupola Size Reduction <td></td>	
2/17/21 <td>Remove Cupola <td></td> </td>	Remove Cupola <td></td>	
Scale	As Noted	



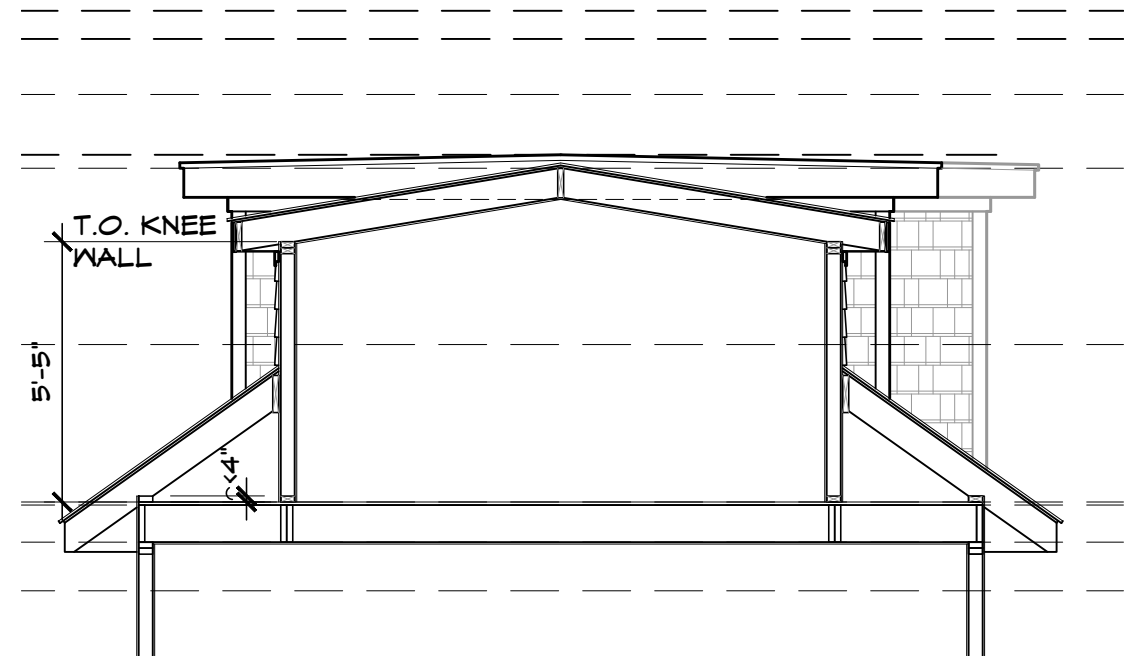
20 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



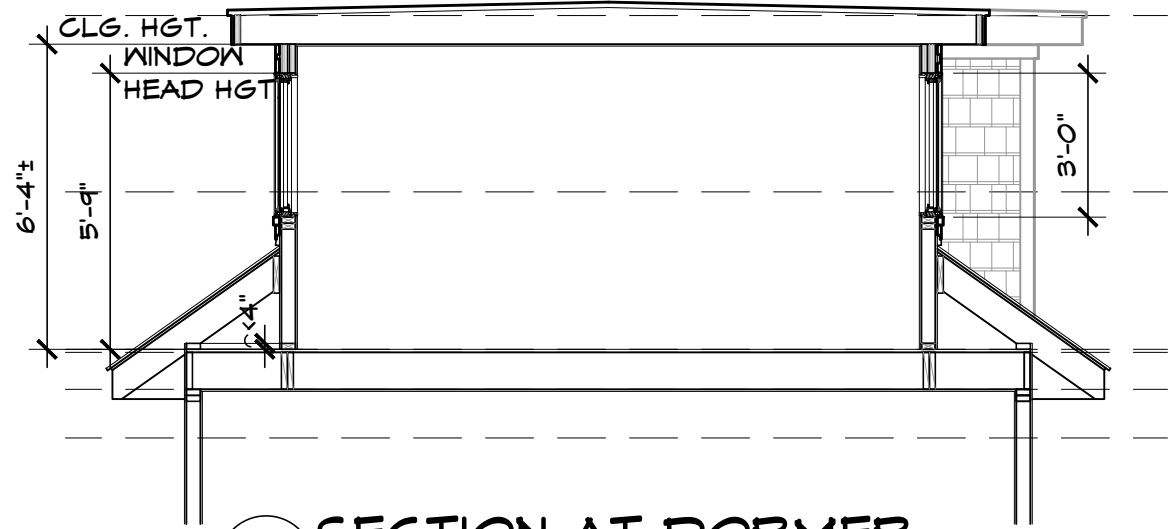
10 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



30 EAST ELEVATION
SCALE: 1/8" = 1'-0"



10 SECTION AT PITCHED DORMER
SCALE: 1/4" = 1'-0"

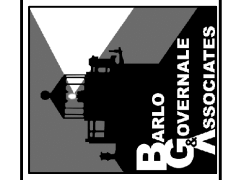


20 SECTION AT DORMER
SCALE: 1/4" = 1'-0"

Barlo Governale & Assoc. L.L.C.
Architecture • Planning
92 Mantoloking Road
Brick Township, NJ 08723
Tel. 732 • 477 • 7751
E-mail: contact@barloarchitecture.com
www.barloarchitecture.com
A LIMITED LIABILITY COMPANY

Daniel J. Governale, RA, AIA
N.J. 21A0202200
C.O.A. 21AC00103800

Proposed Addition:
Perrotti Residence
Lot: 20.01, Block: 157
77 Ocean Avenue
Manasquan Borough, Mon. County, NJ, 08736



Proj. No.	Drawing Title	Drwn/Chkd
22061	Elevation & Sections	JY/DG
	Revisions	
	Cupola Dimensions	
	Cupola Size Reduction	
	Remove Cupola	
Date		
1/13/21		
2/17/21		
2/17/21		
Scale	As Noted	

DATE: Oct. 27, 2020

SC-3

SHEET 4 of 4

METES AND BOUNDS DESCRIPTION
LOT 20.01, BLOCK 157
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

All that certain lot, parcel or tract of land situated and lying in the Borough of Manasquan, County of Monmouth, and State of New Jersey and being more particularly bounded and described as follows:

Beginning at a point on the southwesterly R.O.W. line of Ocean Avenue (50' R.O.W.), said point being a distance of 150.00 feet from its intersection with the southeasterly R.O.W line of Pearce Court (70' R.O.W.), and running; thence

- 1) S50°33'37"W, a distance of 84.00 feet to a point; thence
- 2) S39°26'23"E, a distance of 25.00 feet to a point; thence
- 3) N50°33'37"E, a distance of 84.00 feet to a point on said southwesterly R.O.W. line of Ocean Avenue; thence
- 4) Along same N39°26'23"W, a distance of 25.00 feet to a point, said point being the Point and Place of Beginning.

Subject to Zoning Ordinances, Easements, Covenants and Restrictions of record and any other rights to the public in the roads herein mentioned.

Being known and designated as Lot 20 in Block 10 as shown on a certain map entitled "Map of Estate of E.H. Jackson Dec'd, Situate in the Borough of Manasquan, Monmouth Co., N.J." said map was filed in the Monmouth County Clerk's Office on 6/25/1890 as Filed Map No. 71-16.

Being in accordance with a survey of said premises prepared by Morgan Engineering, LLC, Service@MorganEngineeringLLC.com, dated May 29, 2020, marked project #20-04706.

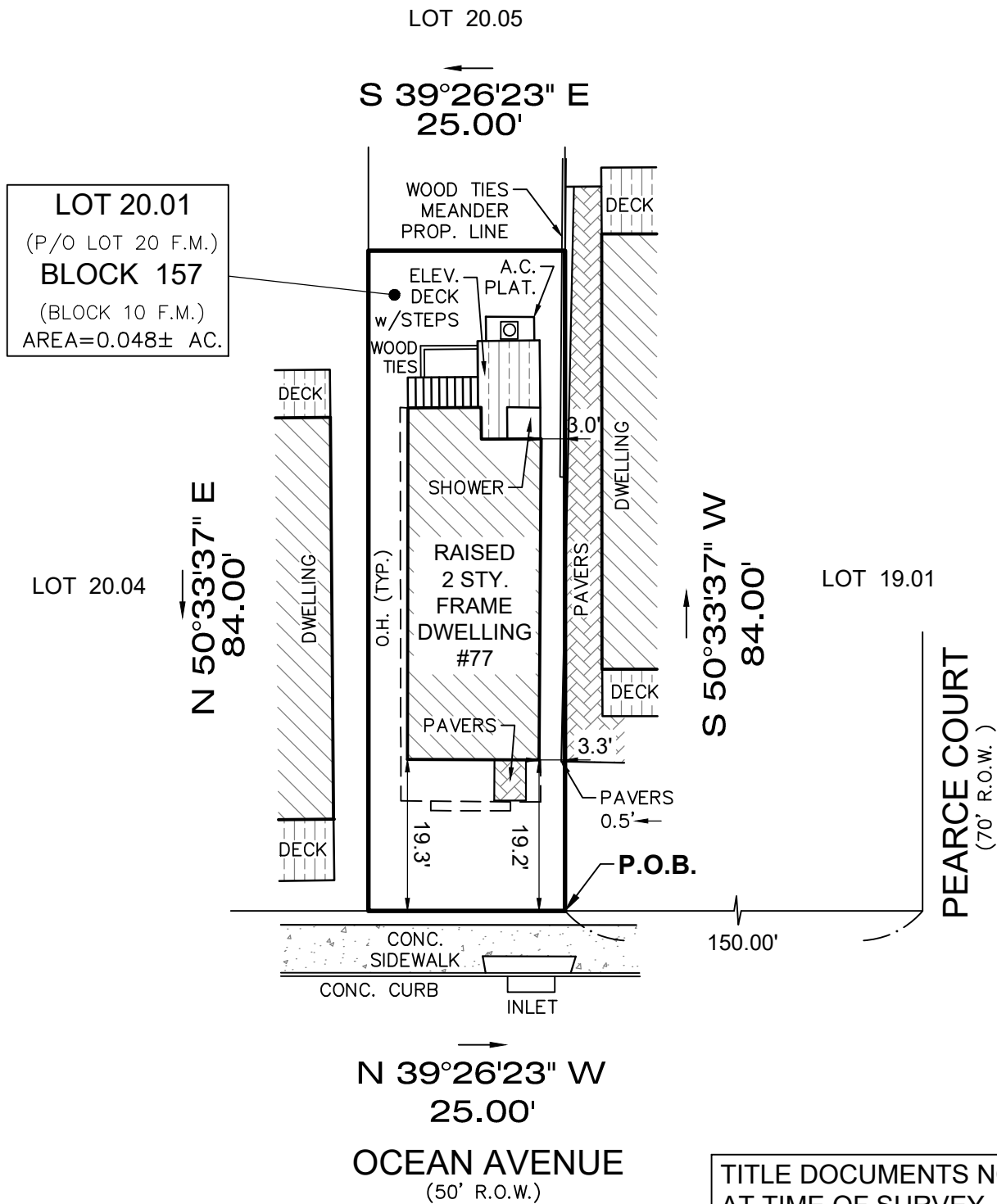
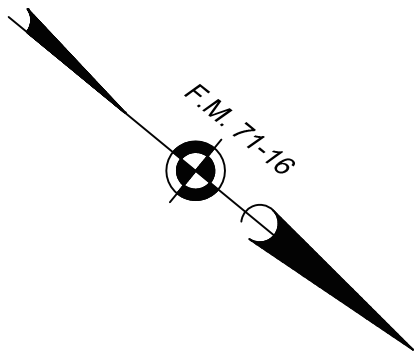


5/29/2020

DAVID J. VON STEENBURG, P.L.S.
N.J. LIC. NO. 34500

DATE

(Project No. 20-04706) DJ



TITLE DOCUMENTS NOT RECEIVED AT TIME OF SURVEY

DISCUSSION TOPIC: PAVERS FROM LOT 19.01 CROSS BOUNDARY LINE WITH SUBJECT PROPERTY.

PREPARED FOR: *THOMAS J. PERROTTI*
 TITLE INSURER: *ENSURE TITLE*
 BUYER'S ATTORNEY: *GARRICK SLAVICK, Esquire*

Filed Map Reference: MAP OF ESTATE OF E. H. JACKSON, DEC'D, SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH CO., N.J.	Filed Map Block: 10	Filed Map Lot: 20	Filing Date: 6/25/1890	Filed Map No. 71-16
------------------------------------------------------------------------------------------------------------------------	------------------------	----------------------	---------------------------	------------------------

IMPORTANT NOTES, PLEASE REVIEW:

- I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 5/29/20 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES, WETLANDS, OR RIPARIAN RIGHTS. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
- OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES.
- THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
- PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:40-5.1(D))

DB 9022 PG 6581

CERTIFICATE OF AUTHORIZATION: 24GA28229800

MORGAN
engineering & surveying

P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691
www.morganengineeringllc.com

SURVEY OF PROPERTY

LOT 20.01 **BLOCK 157**

BOROUGH OF MANASQUAN

COUNTY OF MONMOUTH **NEW JERSEY**

DAVID J. VON STEENBURG
PROFESSIONAL LAND SURVEYOR
N.J. LIC. No. 34500

Scale: 1"=20'	Drawn By: WM	Date: 5/29/20	JOB #: 20-04706	CAD File #: 20-04706WM	Sheet #: 1 OF 1
------------------	-----------------	------------------	--------------------	---------------------------	--------------------